

**AGENDA
CITY OF STURGEON BAY
ZONING BOARD OF APPEALS**

Tuesday, March 8, 2016
12:00 Noon
Council Chambers, City Hall
421 Michigan Street

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from February 23, 2016.
4. Public hearing: Petition for variance from the Floodplain Zoning Code to extend fill less than the minimum 15-foot requirement for property located at 34 Bluebird Drive.
5. Consideration of: Petition for variance from the Floodplain Zoning Code to extend fill less than the minimum 15-foot requirement for property located at 34 Bluebird Drive.
6. Public hearing: Petition for variance from the Floodplain Zoning Code to extend fill less than the minimum 15-foot requirement for property located at Lot 69, Purves Lagoon Subdivision.
7. Consideration of: Petition for variance from the Floodplain Zoning Code to extend fill less than the minimum 15-foot requirement for property located at Lot 69, Purves Lagoon Subdivision.
8. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

ZBA Board Members
William Murrock, Chair
James Goodwin
Andrew Starr
Jack Gigstead
Bill Chadoir
Richard Jennings, Alternate
Wayne Spritka, Alternate

03/02/16
2:00 p.m.
CN

ZONING BOARD OF APPEALS

Tuesday, February 23, 2016

The City of Sturgeon Bay Zoning Board of Appeals meeting was called to order at 12:00 Noon by Chairperson Bill Murrock in Council Chambers, City Hall, 421 Michigan Street.

Roll call: Members Bill Murrock, Bill Chaudoir, Jack Gigstead, James Goodwin and Alternate Richard Jennings were present. Excused: Member Andrew Starr. Also present were Planner/Zoning Administrator Ryan Kernosky, City Engineer Chad Shefchik, Community Development Director Marty Olejniczak, and Community Development Secretary Cheryl Nault.

Adoption of agenda: Moved by Mr. Gigstead, seconded by Mr. Jennings to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from January 26, 2016.
4. Consideration of: Petition for variance from the minimum lot width for a residential lot for Robert Vogel, located at 930 N. 4th Avenue.
5. Adjourn.

Carried.

Approval of minutes from January 26, 2016: Moved by Mr. Chaudoir, seconded by Mr. Jennings to approve the minutes from January 26, 2016. Carried.

Consideration of: Petition for variance from the minimum lot width for a residential lot for Robert Vogel, located at 930 N. 4th Avenue: Rob Vogel stated at the last meeting he and his neighbor, Judy Matheny, were asked to come back with a certified survey map showing where the pins are on their properties. He has had several talks with Ms. Matheny. He also paid to have a survey done. There is a pin located on the corner of her retaining wall.

Surveyor Brian Frisque referred to the map and explained where the lot lines are. They are matched into other surveys. The property line cannot be accurately traced on Ms. Matheny's deed. Mr. Frisque mentioned that he found a pin, but not a survey pin, that wasn't even close to the property line on the edge of the lot corner.

Mr. Vogel considered giving Ms. Matheny a foot or two of property, the whole length of the lot.

Mr. Olejniczak suggested creating a 5-foot easement for the wall.

Mr. Vogel stated that he began to draw a plan for an 850 square-foot house. He thought it would be wise to have a double wide driveway and new retaining wall.

Mr. Kernosky stated that the existing garage meets the setback requirements.

Mr. Chaudoir said the argument on hardship is weak. Doing something positive outweighs the hardship.

Discussion continued. Moved by Mr. Gigstead, seconded by Mr. Jennings to grant the variance to allow splitting the lot in half per the site map and proposed certified survey map. Other lots in the neighborhood are as wide or smaller in width. A new home would appreciate the neighborhood and not depreciate it. Roll call vote: All ayes. Carried.

Adjourn: Moved by Mr. Chaudoir, seconded by Mr. Gigstead to adjourn. Carried. Meeting adjourned at 12:27 p.m.

Respectfully submitted,



Cheryl Nault
Community Development Secretary

Ryan J. Kernosky
Planner/Zoning Administrator
421 Michigan Street
Sturgeon Bay, WI 54235



Phone: 920-746-2907
Fax: 920-746-2905
E-mail: rkernosky@sturgeonbaywi.org
Website: www.sturgeonbaywi.org

Summary for Renstrom
34 Bluebird Drive
281-70-31001602

Jay and Elizabeth Renstrom are petitioning for a variance from chapter 23 (Floodplain Zoning Code) of the Municipal Code for their currently non-conforming dwelling located at 34 Bluebird Drive. The existing dwelling was built prior to the Floodplain Zoning Code and part of the existing dwelling falls below the designated FEMA flood zone. The Renstrom's are in the process of renovating and adding onto the dwelling, and wish to make it conforming to our current codes. Ch. 23.04(3)(a)(1) states the following:

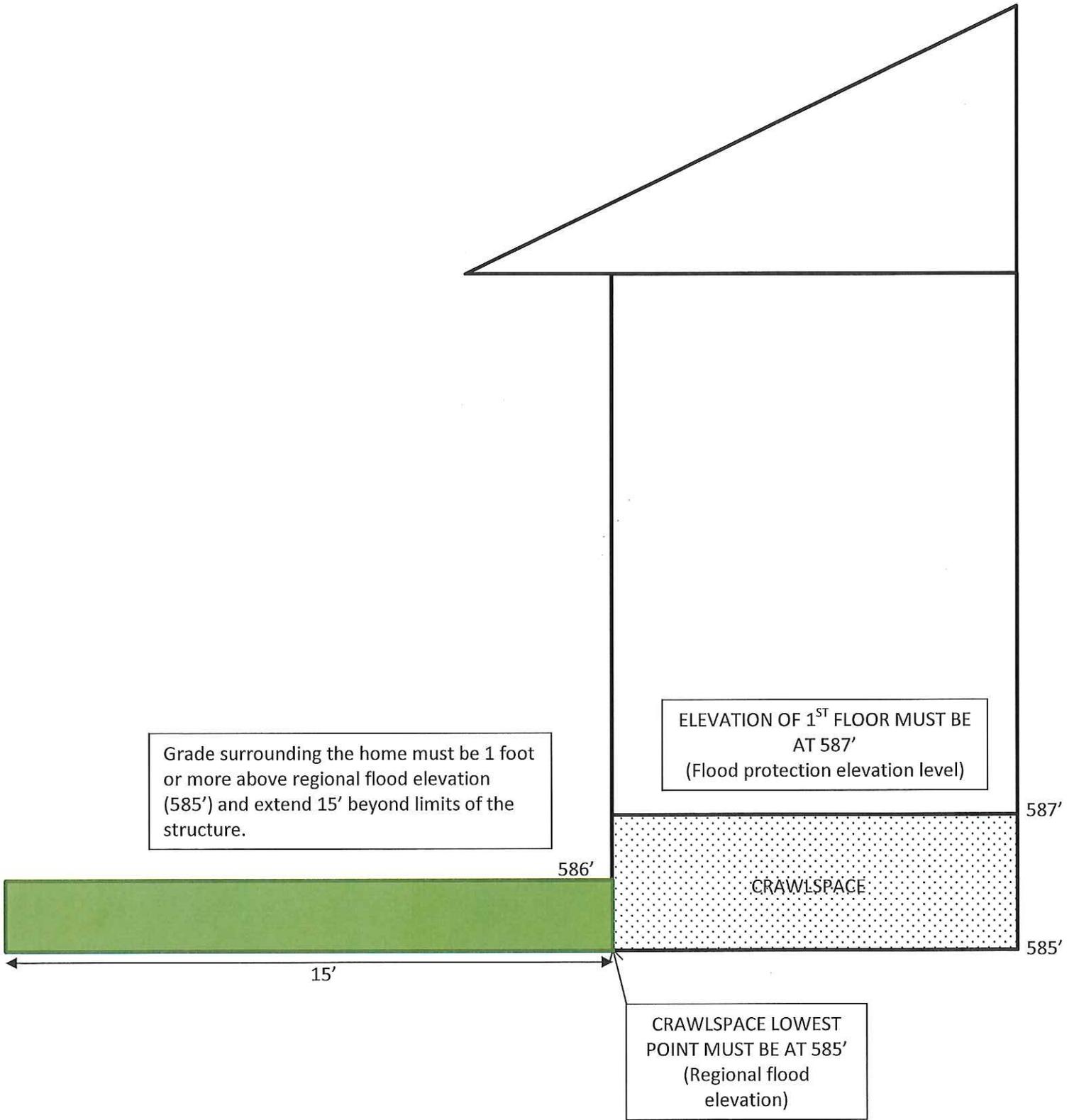
"The elevation of the lowest floor, excluding the basement or crawlway, shall be at or above the flood protection elevation on fill. The fill shall be one foot or more above the regional flood elevation extending at least 15 feet beyond the limits of the structure."

Because of the narrow width of the lot and the City side yard setback requirements for residential districts (10'), the Renstroms are unable to comply with the 15' requirement set forth in the floodplain zoning code and are requesting a variance to extend only 10' from the foundation of the dwelling.

To help better understand the request, please see the enclosed rendering in your packet.

Submitted,

Ryan J. Kernosky
Planner & Zoning Administrator



**CITY OF STURGEON BAY
 VARIANCE APPLICATION
 ZONING BOARD OF APPEALS**

Date Received: 2/5/16
 Fee Paid \$ 300 + 50 (Sign dep)
 Received By: CN

	APPLICANT/AGENT	LEGAL PROPERTY OWNER (if different)
Name	Jay & Beth Renstrom	-
Company		
Street Address	34 Bluebird Drive	
City/State/Zip	Sturgeon Bay, WI 54235	
Daytime Telephone No.	847-609-1106	
Fax No.		

STREET ADDRESS OF SUBJECT PROPERTY: 34 Bluebird Drive
 Location if not assigned a common address: _____

TAX PARCEL NUMBER: 281-70-31001602

CURRENT ZONING CLASSIFICATION: R-2

CURRENT USE AND IMPROVEMENTS: Single Family Dwelling

IDENTIFY MUNICIPAL CODE SECTION PERTINENT TO REQUEST AND STATEMENT OF SPECIFIC ITEM BEING REQUESTED FOR REVIEW: Section 23.04(3)(a)

ZONING AND USES OF ADJACENT SURROUNDING PROPERTIES:
 North: R-2 Single Family Dwelling
 South: R-2 Single Family Dwelling
 East: SF-20 (Sevastopol) / Single Family Dwelling
 West: Water

VARIANCE STANDARDS

Please address how the proposed variance meets each of the three required standards for authorizing variances. (Attach additional sheets, if necessary)

1. Unnecessary hardship: Please see attached

2. Unique physical property limitation: Please see attached

3. Protection of public interest: Please see attached

HAVE THERE BEEN ANY VARIANCES, CONDITIONAL USE PERMITS, ETC. GRANTED PREVIOUSLY FOR THIS PROPERTY? No IF YES, EXPLAIN: _____

Attach an 8-1/2" X 11" detailed site plan (if site plan is larger than 8-1/2" x 11", also include 15 large sized copies), full legal description (preferably on disk), 8-1/2 x 11" location map, construction plans for the proposed project, and Agreement for Reimbursement of expenses. Site plan shall include dimensions of property, pertinent structures and buildings, proposed site improvements, signature of person who drew plan, etc.

Jay Renstrom
Property Owner (Print Name)

Jay Renstrom
Signature

2-5-16
Date

Jay Renstrom
Applicant/Agent (Print Name)

Jay Renstrom
Signature

2-5-16
Date

I, Jay Renstrom, have attended a review meeting with at least one member of staff and understand that I am responsible for sign placement and following all stages listed on the check list in regard to the applicant.
2/5/2016 Date of review meeting Jay Renstrom Applicant Signature [Signature] Staff Signature

- Attachments:
Procedure & Check List
Agreement For Reimbursement of Expenses

STAFF USE ONLY
Application conditions of approval or denial:

Date _____ Community Development Director _____

To the Sturgeon Bay Zoning Board:

We are the current owners of the property located at 34 Bluebird Drive which we purchased in 2010. Currently, the property is considered non-conforming since a portion of the house is below flood zone. Our intentions, since purchase, have been to make the property a conforming structure according to the Sturgeon Bay building and zoning codes.

We have been working closely with our contractor, Jim Thibadeau of Stony Creek Builders, Mitch Wise Designs, Green Door Designs as well as Marty Olejniczak over the past 3 years to develop a plan to bring our home into conformity. Our goal in addition to becoming a conforming structure is to also develop a home that has a first floor that is all one level which greatly improves the accessibility of our home for our aging parents and ourselves as we age.

To summarize our efforts, we will be filling in the basement to the 585' level and moving all mechanicals to meet the zoning requirements. We will be raising the southeast floor to the 587' level or higher and also raising the grade outside our home to the 586' level. We will be tearing down the current garage which currently sits beyond the setback limits and building a new, attached garage at the required setback and height requirements.

We love the community, culture, water, and the people which make the considerable financial investment worth it. Granting us this variance will allow us to make our home conforming and habitable for year round living for years to come.

Variance Standards:

Unnecessary Hardship: The existing dwelling was constructed prior to adoption of the floodplain zoning code; the restrictions for nonconforming structures including the 50% assessed value limitation for additions/alterations/repairs to the structure which severely hamper the use of the dwelling; and the requirement that the entire structure be brought into compliance, including the 15 feet of fill around the dwelling is extremely burdensome given the location of the existing dwelling. Our plans consist of removing and rebuilding the part of the structure outside of the setback limitations (current garage) to comply, as much as possible to the current zoning and building codes and setback requirements.

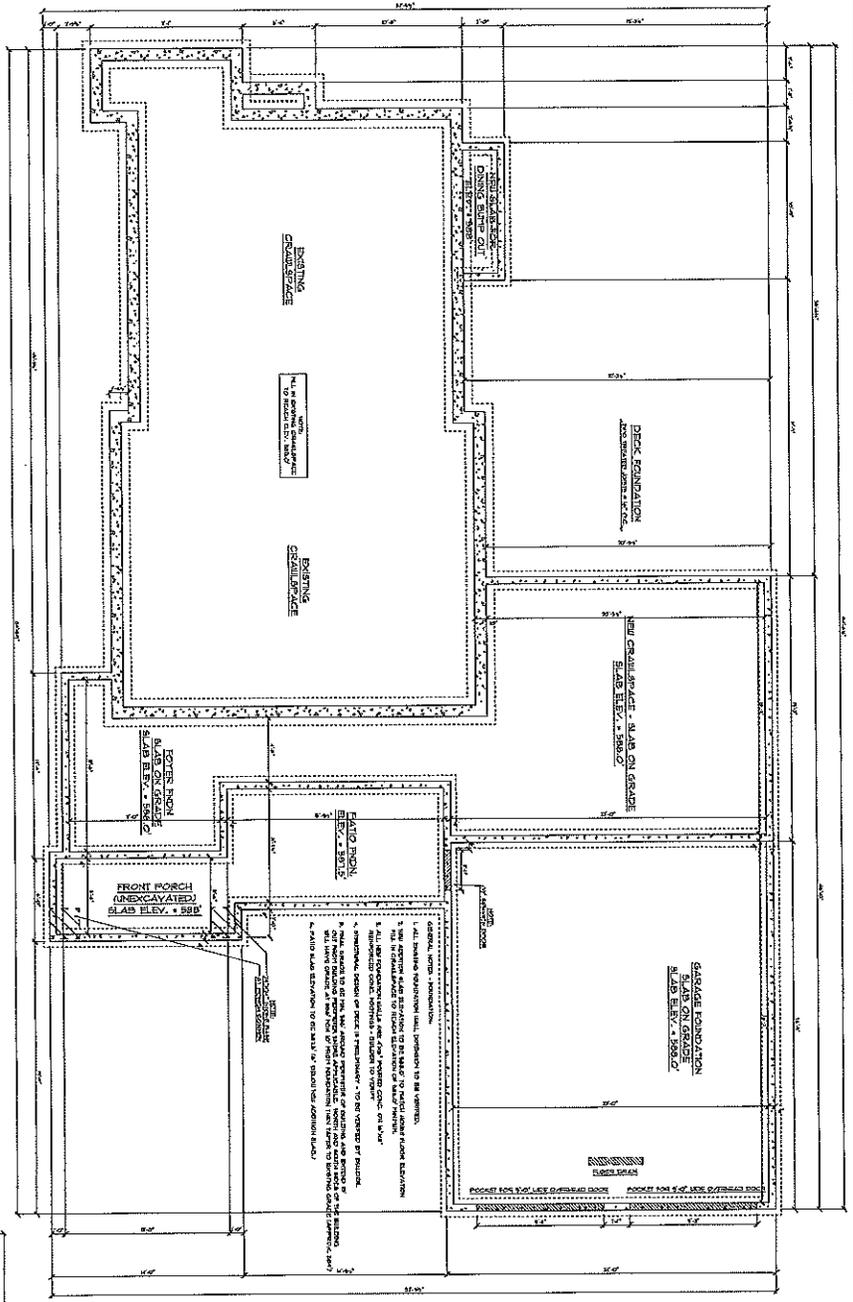
Unique Physical Property limitation: Similar to the Unnecessary Hardship explanation, the current structures were built prior to the adoption of the floodplain zoning codes. The property is a narrow Bayfront lot with property and setback limitations.

Protection of Public Interest: Obtaining this variance is in the public interest since the current property is non-conforming. The proposed development includes filling in the existing nonconforming crawlspace/basement to the required elevation, raising the existing first floor elevation to the required elevation and providing some fill to get closer to the required amount of fill compared to the existing nonconforming grade. Therefore, the proposed development is much more in line with the goals/requirements of the Floodplain Zoning Code than the current dwelling. The proposal also eliminates an existing nonconforming garage.

- DRAWING SCHEDULE
- 1. FOUNDATION
 - 2. MAIN FLOOR
 - 3. ELEVATIONS
 - 4. WALL BRACING - SITE

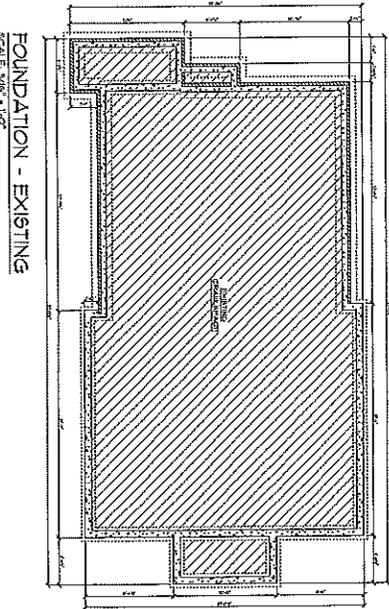
STONY CREEK BUILDERS
 "CRAFTSMEN AT THEIR BEST"
 920-559-0468

FOUNDATION - NEW
 SCALE: 1/4" = 1'-0"



1. ALL EXISTING FOUNDATION SHALL REMAIN TO BE REPAIRED.
 2. NEW GARAGE SLAB SHALL BE CONCRETE ON 4" SAND.
 3. ALL EXISTING FOUNDATION SHALL BE REPAIRED TO MEET ALL CODES.
 4. ALL EXISTING FOUNDATION SHALL BE REPAIRED TO MEET ALL CODES.
 5. ALL EXISTING FOUNDATION SHALL BE REPAIRED TO MEET ALL CODES.
 6. ALL EXISTING FOUNDATION SHALL BE REPAIRED TO MEET ALL CODES.
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 8. ALL EXISTING FOUNDATION SHALL BE REPAIRED TO MEET ALL CODES.
 9. ALL EXISTING FOUNDATION SHALL BE REPAIRED TO MEET ALL CODES.
 10. ALL EXISTING FOUNDATION SHALL BE REPAIRED TO MEET ALL CODES.

NOTE:
 VERIFY ALL EXISTING DIMENSIONS
 DURING CONSTRUCTION.



RENSTROM
 PHONE:
 FAX:

DRAWN BY:
 GREGG DODD
 1415 HICKMAN ST. - 6TH FLOOR
 DENVER, CO 80202
 303.733.8888

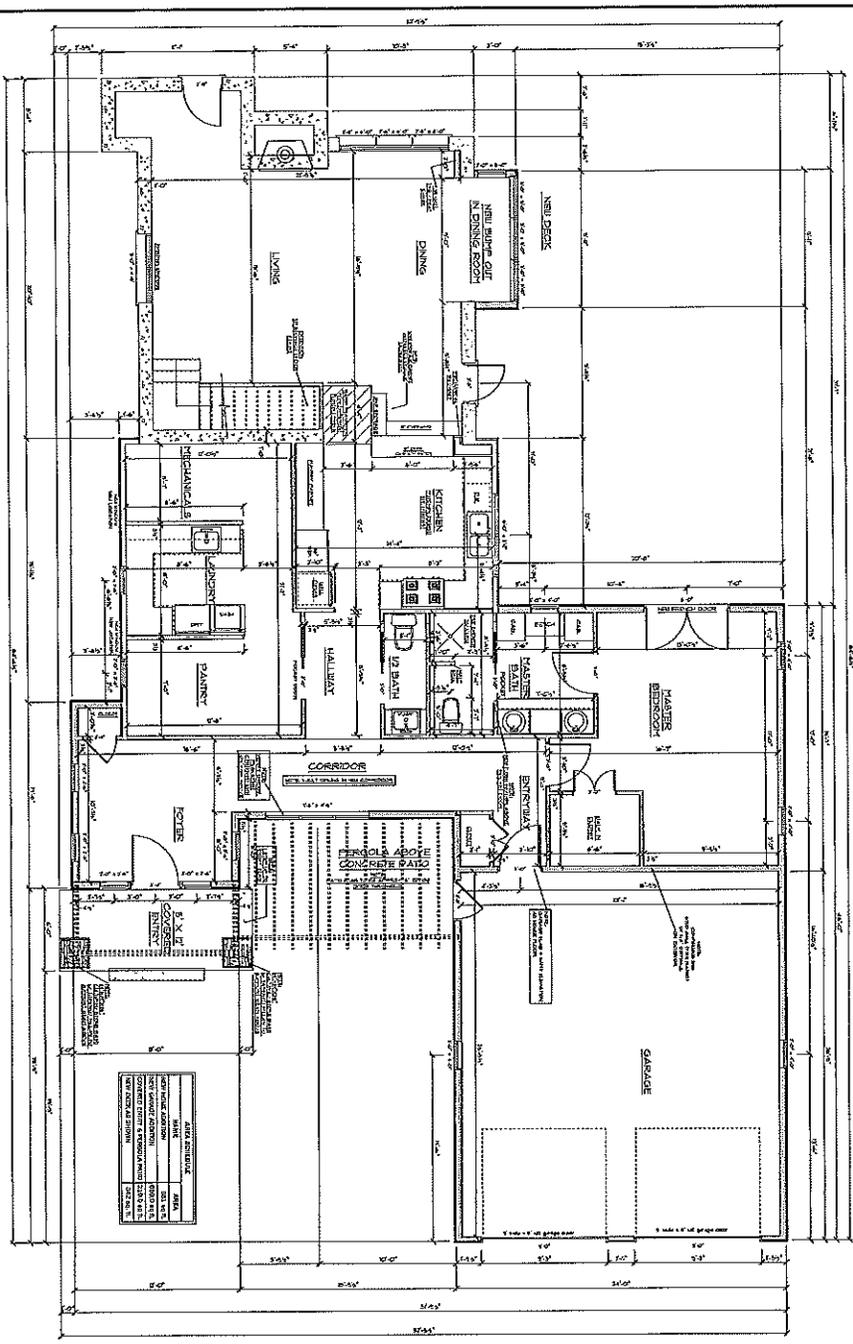
THIS PLAN AND SPECIFICATIONS AS A GENERAL GUIDE FOR THE CONTRACTOR AND SUBCONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION.

SCALE: As Noted
 DRAWN BY:
 DATE: Thursday, February 25, 2016



APPROVED:
 CHECKED BY:

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 1. FOUNDATION

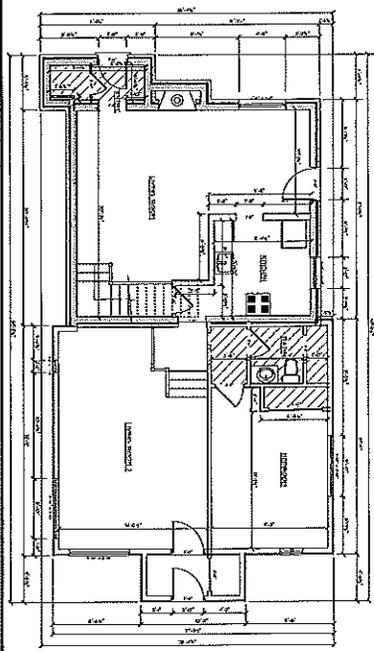


Main Floor - NEW
 SCALE: 1/8" = 1'-0"

NOTE:
 FLOOR ELEVATION OF NEW ADDITIONS
 TO MATCH EXISTING HOME @ 888.0'
 EXCEPT EXTERIOR PATIO @ 881.5'

DATE	DESCRIPTION	BY
02/25/16	ISSUED FOR PERMITS	RENTON
02/25/16	ISSUED FOR PERMITS	RENTON
02/25/16	ISSUED FOR PERMITS	RENTON

Main Floor - EXISTING
 SCALE: 3/16" = 1'-0"



- GENERAL NOTES:
1. BUILDER TO VERIFY AND CORRECT DIMENSIONS PRIOR TO CONSTRUCTION
 2. ALL CHANGES TO BE DERIVED BY OTHERS. VERIFY DIMENSIONS AFTER PERMITS IS IN PLACE.

RENSTROM
 PHONE:
 FAX:



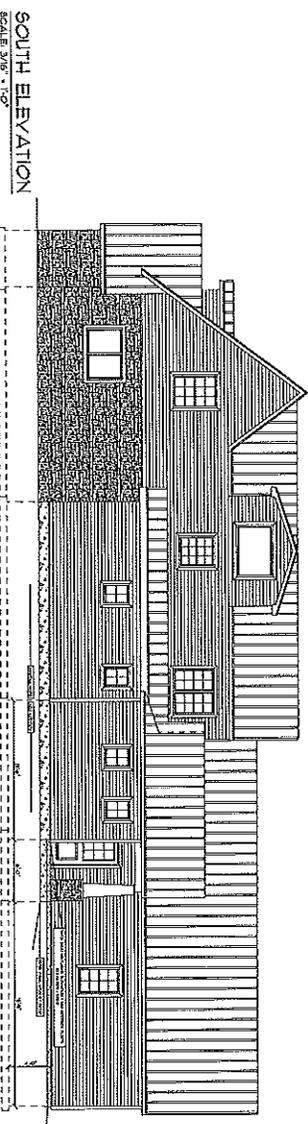
DESIGN BY:
 GABRIEL ROHR DRAFTING & DESIGN
 1600 NORTH GASTELMAN
 FARGO, ND 58103
 PHONE: 701.785.1111
 FAX: 701.785.1112
 EMAIL: GABRIEL@GROHRTD.COM

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF GABRIEL ROHR DRAFTING & DESIGN. NO PART OF THIS PLAN OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GABRIEL ROHR DRAFTING & DESIGN.

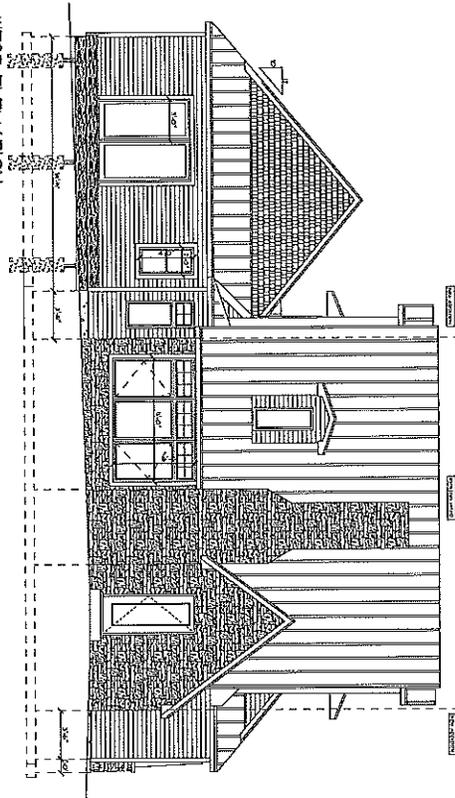
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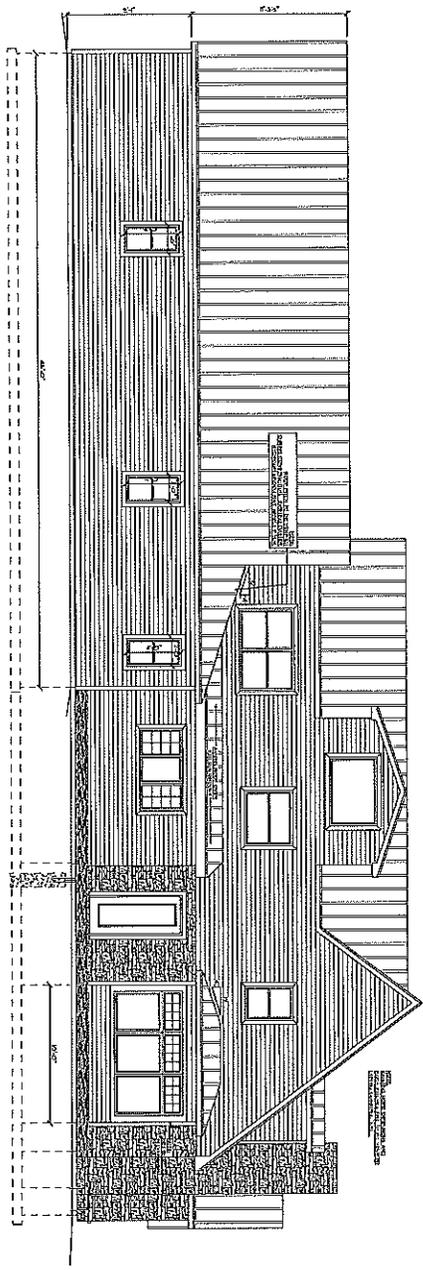
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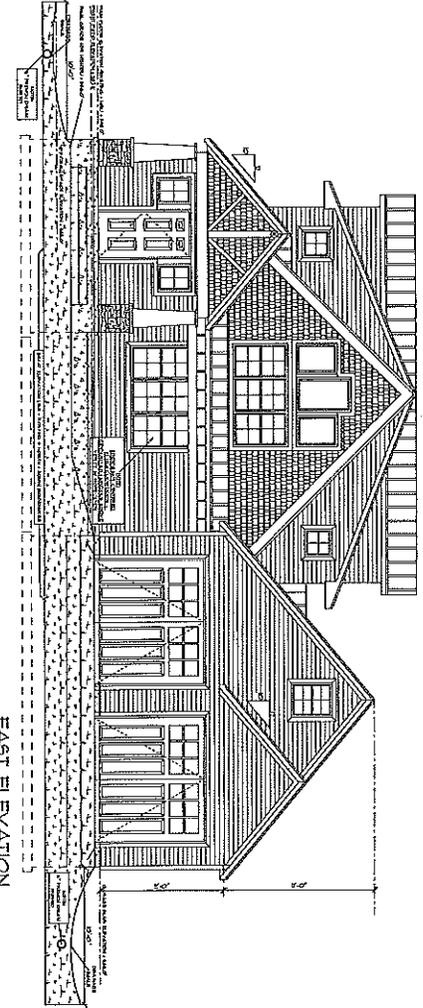
SOUTH ELEVATION
 SCALE: 3/8" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



EAST ELEVATION
 SCALE: 1/4" = 1'-0"

RENSTROM
 PHONE:
 FAX:



DRAWN BY:
 GREEN DOOR DRAWINGS & DESIGN
 2417 POCOCKS ST., ST. PETERSBURG, FL 34784
 941-388-8888
 BLUEPRINT@GREENDOORDRAWINGS.COM

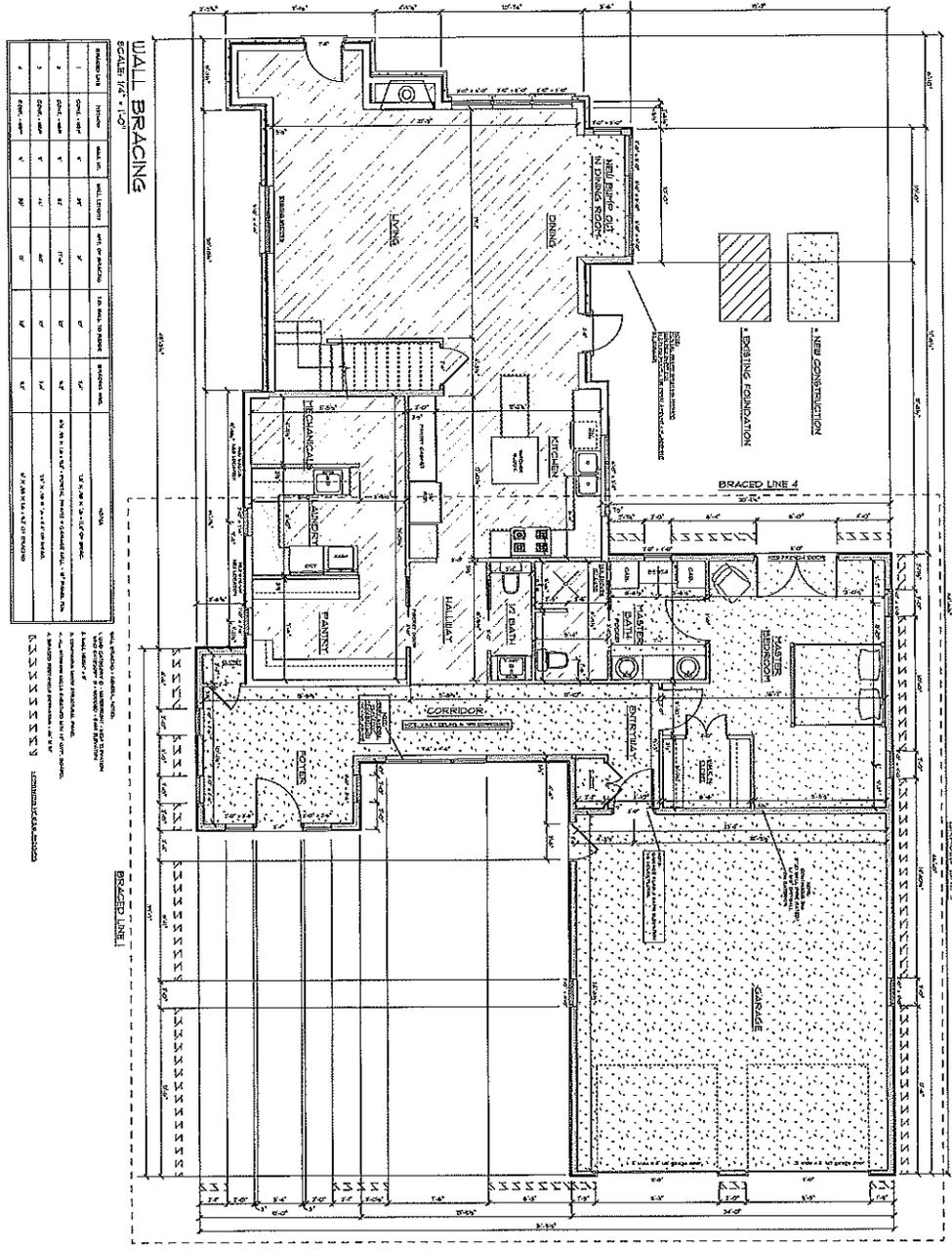
SOME PLANS ARE INTENDED AS A GUIDE. CHECK FOR ALL DIMENSIONS AND MATERIALS. VERIFY ALL DIMENSIONS AND MATERIALS WITH THE SUPPLIER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

SCALE: As Noted
 DRAWN BY:
 DATE: Thursday, February 26, 2016



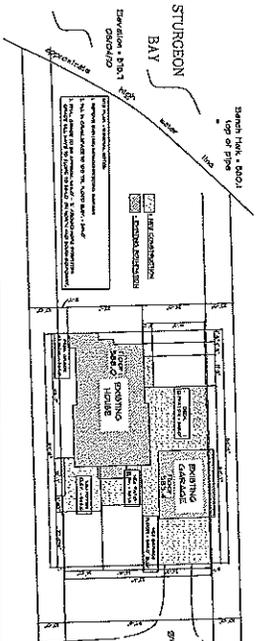
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 3. ELEVATIONS



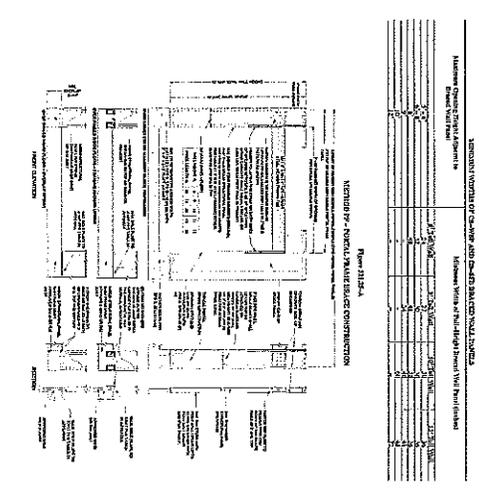
WALL BRACING
 SCALE: 1/4" = 1'-0"

BRACING LINE	WALL TYPE	WALL LENGTH	WALL ORIENTATION	TO BE BRACED	BRACING TYPE	NOTES
1	CONCRETE	24'	W	W	W	1/2" X 4" X 8" S.P. AT 48" ON CENTER.
2	CONCRETE	48'	E	W	W	1/2" X 4" X 8" S.P. AT 48" ON CENTER. BRACING TO BE INSTALLED WITH 1/2" X 4" X 8" S.P. AT 48" ON CENTER.
3	CONCRETE	24'	E	W	W	1/2" X 4" X 8" S.P. AT 48" ON CENTER.
4	CONCRETE	24'	E	W	W	1/2" X 4" X 8" S.P. AT 48" ON CENTER.



REQUIRED LENGTH OF CONTINUOUS BRACING TO EACH BRACING LINE AT

BRACING LINE	WALL TYPE	WALL LENGTH	WALL ORIENTATION	TO BE BRACED	BRACING TYPE	NOTES
1	CONCRETE	24'	W	W	W	1/2" X 4" X 8" S.P. AT 48" ON CENTER.
2	CONCRETE	48'	E	W	W	1/2" X 4" X 8" S.P. AT 48" ON CENTER. BRACING TO BE INSTALLED WITH 1/2" X 4" X 8" S.P. AT 48" ON CENTER.
3	CONCRETE	24'	E	W	W	1/2" X 4" X 8" S.P. AT 48" ON CENTER.
4	CONCRETE	24'	E	W	W	1/2" X 4" X 8" S.P. AT 48" ON CENTER.



PROPERTY LINE ELEVATION
 ALL ELEVATIONS ARE BASED ON NAVD DATUM
 100 YEAR FLOOD ELEVATION: 886.0
 AS PER CITY OF STURGEON BAY
 SHEET NO. 1001
 NORTH SHEET ADDRESS

NOTICE OF PUBLIC HEARING

The City of Sturgeon Bay Zoning Board of Appeals will hold a public hearing in the Council Chambers, 421 Michigan Street, Sturgeon Bay, Door County, Wisconsin on Tuesday, March 8, 2016, at 12:00 Noon or shortly thereafter, regarding a request from Jay and Beth Renstrom for a variance under Section 23.04(3)(a)(1) of the Floodplain Zoning Code, which requires that fill around the dwelling shall be one foot or more above the regional flood elevation and extend 15 feet beyond the limits of the structure. The request is to extend 10 feet beyond the limits of the structure while maintaining the one foot or more requirement. The subject property is located at 34 Bluebird Drive, parcel #281-70-31001602. The variance application is on file with the Community Development Department and can be viewed at City Hall, 421 Michigan Street, weekdays between 8:00 a.m. and 4:30 p.m. The public is invited to attend the hearing and give testimony in favor or against the proposed variance either in person at the hearing or in writing.

By order of:
City of Sturgeon Bay Zoning Board of Appeals

Storm Water Review February 9, 2016

Owner: Jay & Elizabeth Renstrom

Location: 34 Bluebird Drive

Per the plans dated January 21, 2016 it appears the current crawlspace of the home is at an approximate elevation of 584.7' and the plans call for the current crawlspace to be filled to an elevation of 585.0'. With regards to the exterior grading, the plans also call for the finished grading to be at an elevation of 586.0' or greater from the home out 15' on the East and West sides of the home. However, on the North and South sides of the home, portions of the building will only be approximately 10' from the lot line. The approximate elevation at the North lot line is approximately 583.42' and the approximate elevation at the South lot line is approximately 584.42'. Therefore, even if the grade tapered out from the house starting from an elevation of 586.0' there could be between 1.58' and 2.58' of elevation change over the 10' distance. This could lead to minimum slopes of 15.8% to 25.8%, which are considered to be relatively high (33% is generally considered a maximum for grass). If the tapers started at elevation 587.0' then the minimum slopes could be as high as 25.8% to 35.0%.

Regardless of the grading on the North and South sides of the home, the new finished elevations will be higher than the current existing finished elevations. In addition, the crawlspace level of the home will also be increasing slightly. Therefore, any water issues for this home should remain the same or slightly improve. The only major change would be the increased slopes on the North and South sides of the home. Per Steve Rank (the property owner to the South) there are not any current drainage issues on the properties that he is aware of, so the increased slope should cause only minor changes to the overall area in terms of drainage.

Assuming proper measures are taken to frost protect the foundation, the following could be options to accommodate the grading / drainage issues:

1. If grass is desired:
 - i. Use retaining walls to allow the grades on the North and South sides of the home to be at 586.0' or greater out approximately 4' to 6' from the home.
 - ii. Taper the grades on the North and South sides of the home from the current elevation of the lot lines to elevation 586.0' at the home.
2. If mulch or other similar landscaping is desired, taper the grades on the North and South sides of the home from the current elevation of the lot lines to elevation 587.0' at the home.

Chad Shefchik
City Engineer

34 Bluebird Dr FEMA Flood Levels

Printed 02/17/2016 courtesy of Door County Land Information Office



Door County, Wisconsin
... for all seasons!

... from the Web Map of ...
(<http://www.co.door.wi.gov>)



Door County can not and does not make any representation regarding the accuracy or completeness, nor the error-free nature, of information depicted on this map. This information is provided to users "as is". The user of this information assumes any and all risks associated with this information. Door County makes no warranty or representation, either express or implied, as to the accuracy, completeness, or fitness for a particular purpose of this information. The Web Map is only a compilation of information and is NOT to be considered a legally recorded map or a legal land survey to be relied upon.



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Location Map Renstrom Variance Request



Legend

 Subject Parcel

NOTE: Public hearing to be held in the City Council Chambers at 12:00 Noon on March 8, 2016

Prepared by Kernosky

Ryan J. Kernosky
Planner/Zoning Administrator
421 Michigan Street
Sturgeon Bay, WI 54235



Phone: 920-746-2907
Fax: 920-746-2905
E-mail: rkernosky@sturgeonbaywi.org
Website: www.sturgeonbaywi.org

Summary for Pfeifer
Purves Lagoon Lot #69
281-40-95006900

Stephan and Barbara Pfeifer are petitioning for a variance from chapter 23 (Floodplain Zoning Code) of the Municipal Code for a proposed dwelling in Purves Lagoon. The part of the parcel is currently partially within the FEMA flood zone designation; therefore any part of a dwelling that would be built within the designated flood zone would require that the entire dwelling comply with the Floodplain Zoning Code. Ch. 23.04(3)(a)(1) states the following:

“The elevation of the lowest floor, excluding the basement or crawlway, shall be at or above the flood protection elevation on fill. The fill shall be one foot or more above the regional flood elevation extending at least 15 feet beyond the limits of the structure.”

To better understand the variance request, please refer to the informational sheet on this code requirement within your packet.

City staff has advised the builder to get an accurate elevation survey done, as the existing site plan uses the Door County GIS system to get the approximate location of the floodplain zone.

Submitted,

A handwritten signature in blue ink, appearing to read 'Ryan J. Kernosky', is written over the printed name and title below.

Ryan J Kernosky
Planner & Zoning Administrator

**CITY OF SURGEON BAY
VARIANCE APPLICATION
ZONING BOARD OF APPEALS**

Date Received:	<u>2/12/16</u>
Fee Paid	\$ <u>350.00</u>
Received By:	_____

	APPLICANT/AGENT	LEGAL PROPERTY OWNER (if different)
Name	<u>Adam Kozlowski</u>	<u>Stephan Barbara Pfeifer</u>
Company	<u>C+C Custom Builders</u>	
Street Address	<u>950 Challenger Dr.</u>	<u>653 E Walnut Dr.</u>
City/State/Zip	<u>Green Bay, WI 54311</u>	<u>Surgeon Bay, WI 54235</u>
Daytime Telephone No.	<u>920-360-0529</u>	<u>920-559-3989</u>
Fax No.	<u>920-468-3242</u>	

STREET ADDRESS OF SUBJECT PROPERTY: Lot 69 in Purves Lagoon Subdivision
 Location if not assigned a common address: _____

TAX PARCEL NUMBER: 2814095006900

CURRENT ZONING CLASSIFICATION: R-1

CURRENT USE AND IMPROVEMENTS:
Current - Open lot with Dock on water. Want to build a 4,300 sq. ft single family residence

IDENTIFY MUNICIPAL CODE SECTION PERTINENT TO REQUEST AND STATEMENT OF SPECIFIC ITEM BEING REQUESTED FOR REVIEW: C. 23.04 (3)(a)(1)

ZONING AND USES OF ADJACENT SURROUNDING PROPERTIES:

North:	<u>Water</u>
South:	<u>R-1 - SINGLE FAMILY DWELLING</u>
East:	<u>R-1 - VACANT</u>
West:	<u>R-1 - SINGLE FAMILY DWELLING</u>

- 1) **Unnecessary Hardship:** The majority of the property is above floodplain; however, the flood zone extends into the buildable area on the northeast corner of the lot by more than 25 feet. We would like to build the proposed house, which will reside within all of the building setbacks, and are requesting a variance on the fill requirements because we won't have enough room to have the fill 1' above the flood plain, 15 feet away from the structure on the sides of the lot. We are proposing a block retaining wall as shown on the site map that will be between 1-2' tall.
- 2) **Unique physical property limitation:** The flood zone extends into the northeast corner of the lot to a degree that would not allow the proposed house to be built on this lot without granting a variance on fill requirements
- 3) **Protection of public interest:** The final house elevation will be at a final height that is very close to the neighbor to the west so there will be plenty of elevation change to manage water between the houses. The open lot to the east has a similar lot condition and will likely have to build at the same height so the proposed house will not have a negative impact on that lot. The roof water will also be piped underground to the storm water piping which will also help manage snow melt and rain in the yard.

Site Plan

563 East Walnut Drive
 Lot 69, Purves Lagoon Subdivision, Document number 4328374, Door County Records, City of
 Sturgeon Bay, Door County Wisconsin.



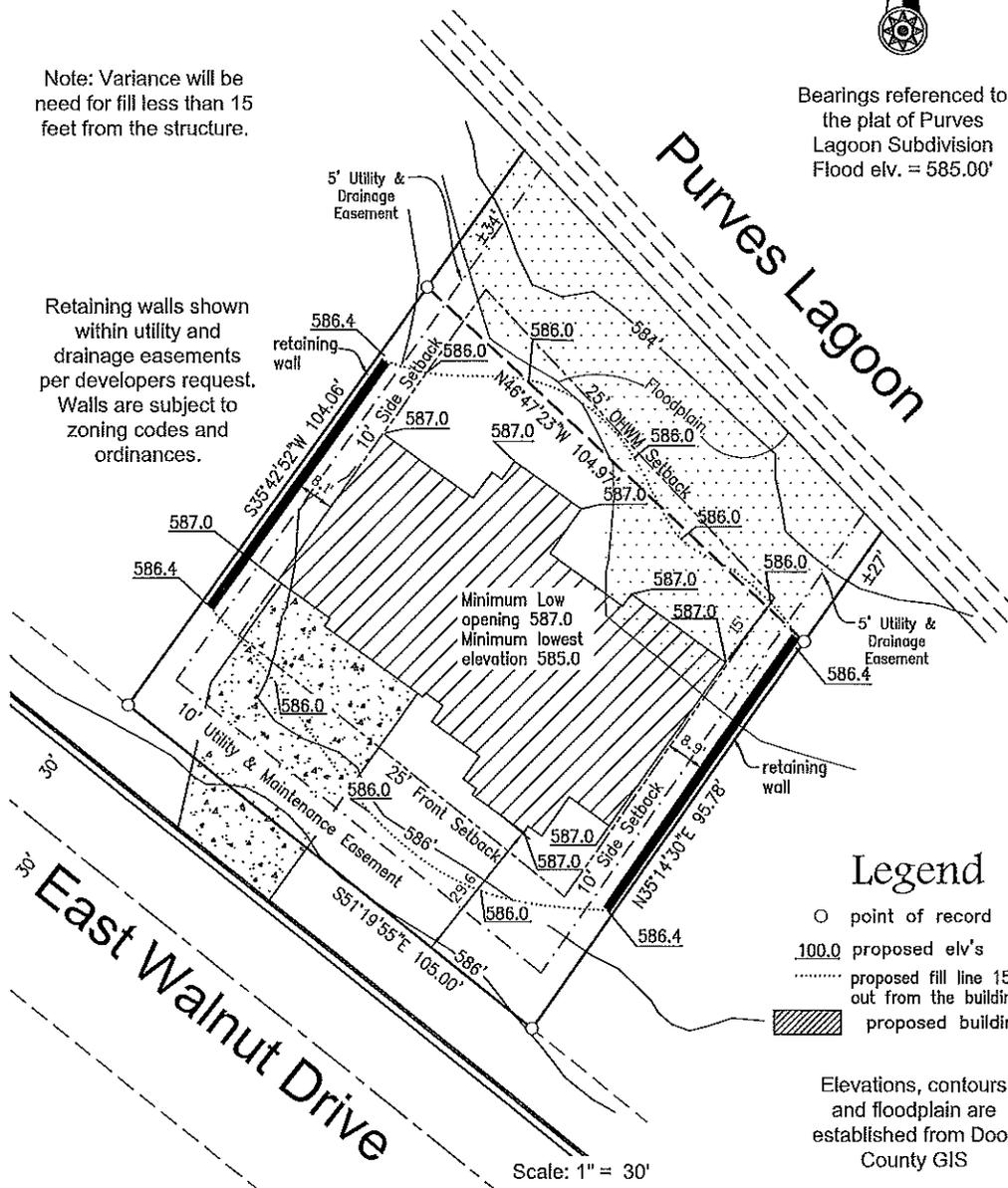
North



Note: Variance will be
 need for fill less than 15
 feet from the structure.

Bearings referenced to
 the plat of Purves
 Lagoon Subdivision
 Flood elev. = 585.00'

Retaining walls shown
 within utility and
 drainage easements
 per developers request.
 Walls are subject to
 zoning codes and
 ordinances.



Legend

- point of record
- 100.0 proposed elev's
- proposed fill line 15'
out from the building
- ▨ proposed building

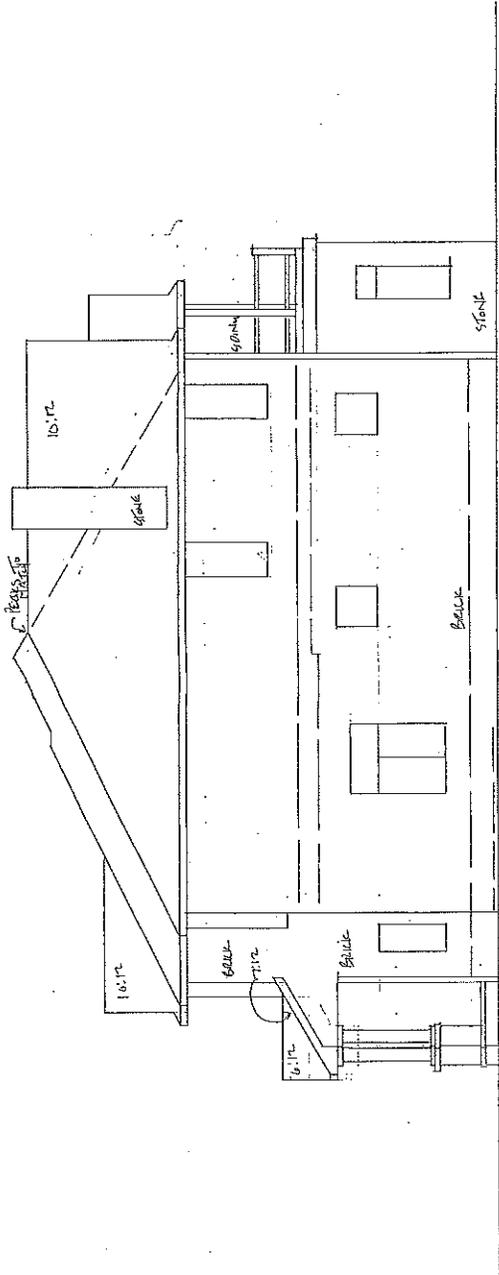
Elevations, contours
 and floodplain are
 established from Door
 County GIS

Scale: 1" = 30'

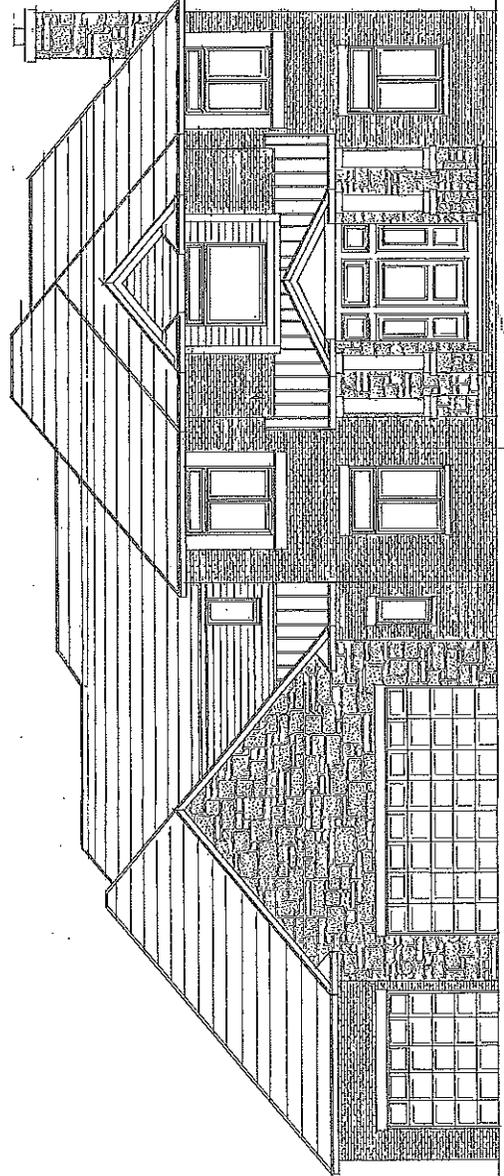
Client: C & C Custom Builders **Mau & Associates**
 Tax Parcel: 2814095006900
 Drafted By: JRW
 File: C-5815Site Plan 051215.dwg

LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

Sheet One of One
 Project No.: C-5815
 Drawing No.: L-9225



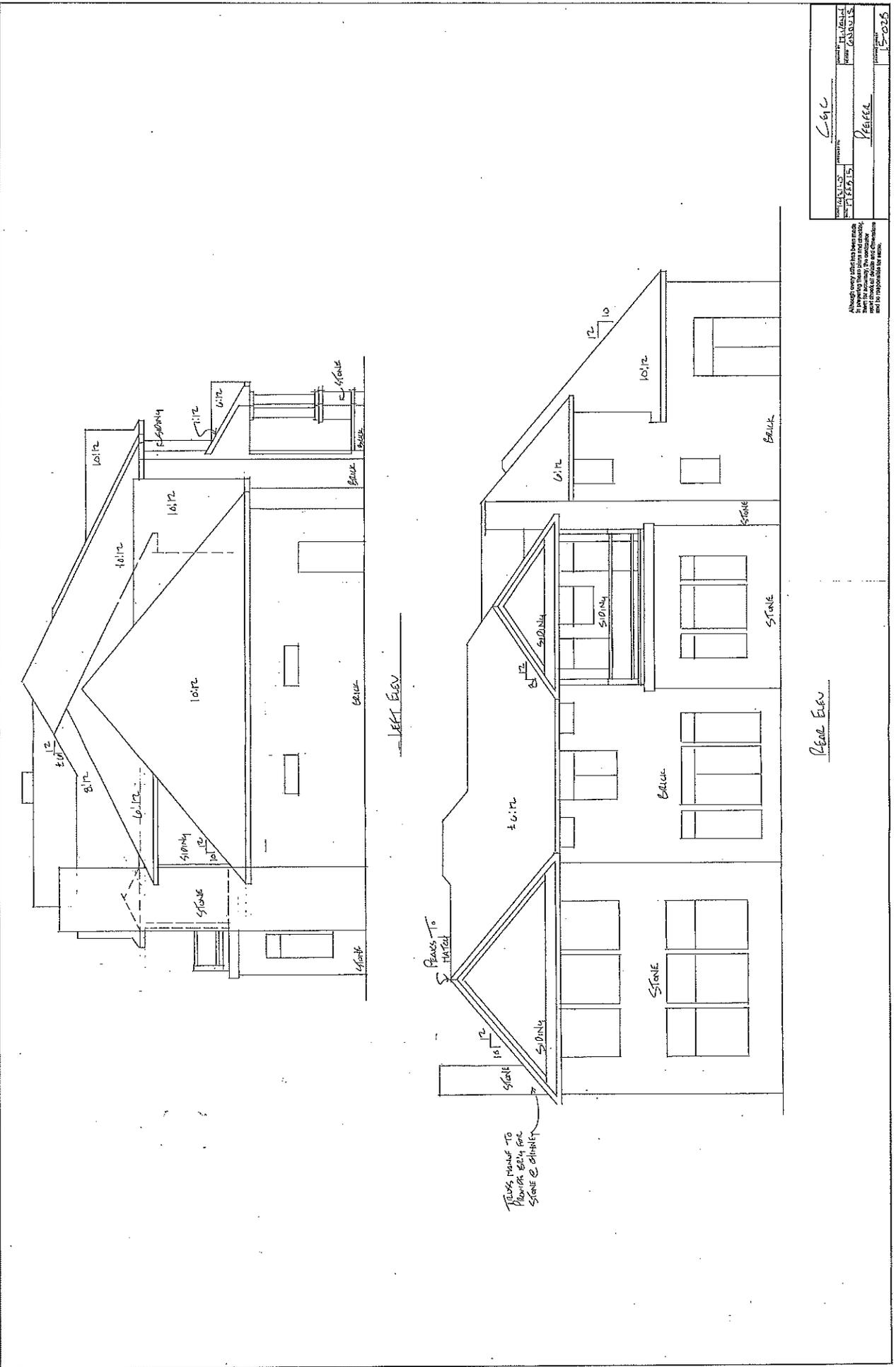
Back Elevation



Front Elevation

Although every effort has been made to present these plans and drawings, the architect assumes no responsibility for errors.

DRAWN BY: CEC BORD
 CHECKED BY: KEEFE
 DATE: 12-15-03
 PROJECT NO.: 15-025



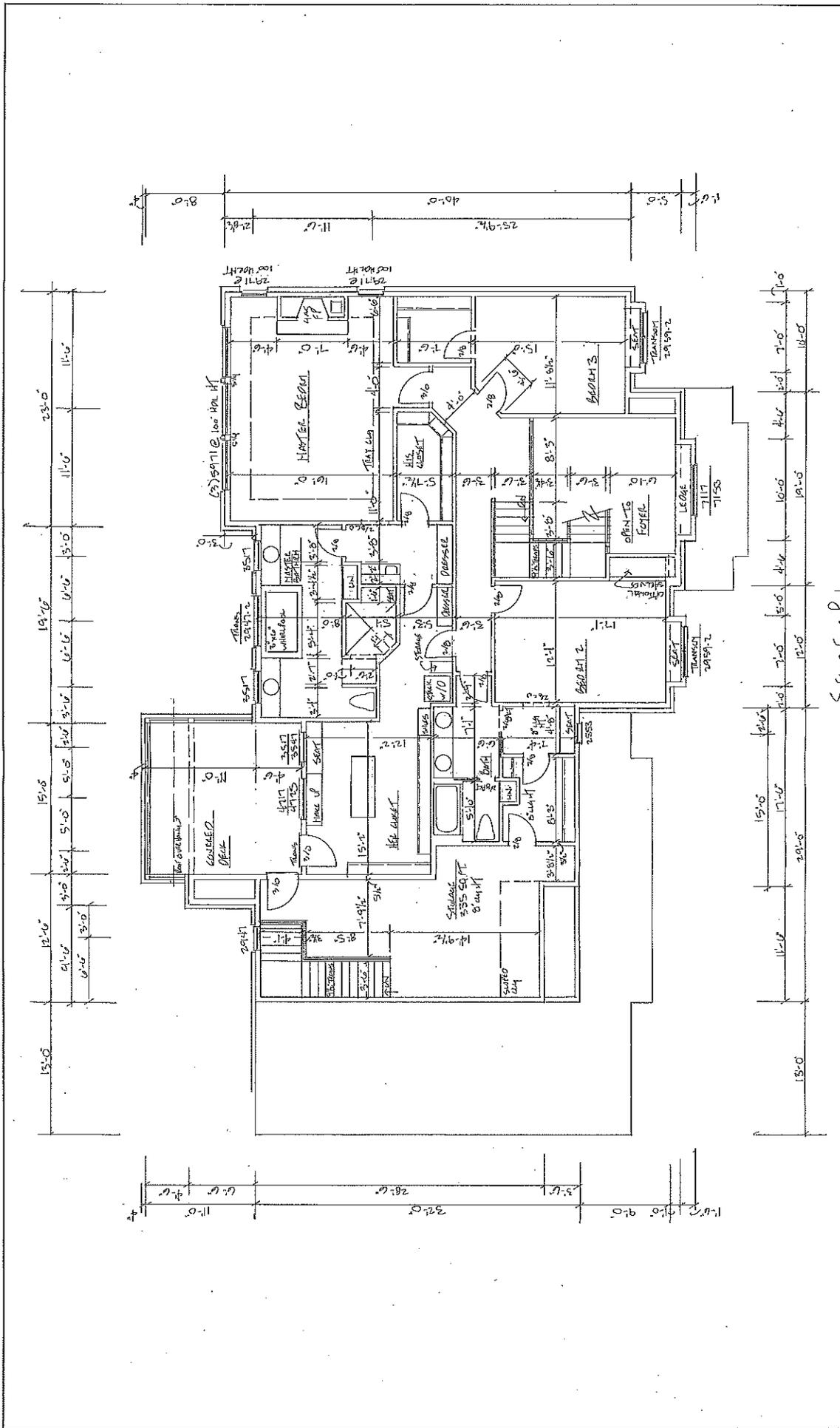
Although every effort has been made to ensure the accuracy of the information shown on this drawing, the architect, engineer, and contractor shall be responsible for the design and construction of the work.

PROJECT NO.	DATE	SCALE	PROJECT NAME
1000	10/15	1/4" = 1'-0"	1000
1000	10/15	1/4" = 1'-0"	1000
1000	10/15	1/4" = 1'-0"	1000
1000	10/15	1/4" = 1'-0"	1000

LEFT ELEV.

REAR ELEV.

PLEASE MAKE TO MATCH WITH OTHER SIDE FOR STONE & CHIMNEY



Second Floor Plan
 1935 SEFT
 918 sq ft (Unisex North)

DATE	12/15/10
PROJECT	CEC
DESIGNER	CEC
SCALE	1/8" = 1'-0"
NO.	15.02B

Although every effort has been made to ensure the accuracy of the information shown on this drawing, the user of this drawing shall be responsible for its use.

NOTICE OF PUBLIC HEARING

The City of Sturgeon Bay Zoning Board of Appeals will hold a public hearing in the Council Chambers, 421 Michigan Street, Sturgeon Bay, Door County, Wisconsin on Tuesday, March 8, 2016, at 12:00 Noon or shortly thereafter, regarding a request from Stephan and Barbara Pfeifer (Adam Kozlowski, Agent) for a variance under Section 23.04(3)(a)(1) of the Floodplain Zoning Code, which requires that fill around the dwelling shall be one foot or more above the regional flood elevation and extend 15 feet beyond the limits of the structure. The request is to extend 10 feet beyond the limits of the structure while maintaining the one foot or more requirement. The subject property is a vacant parcel, Lot 69 in Purves Lagoon Subdivision, parcel #281-40-95006900. The variance application is on file with the Community Development Department and can be viewed at City Hall, 421 Michigan Street, weekdays between 8:00 a.m. and 4:30 p.m. or on the City website at www.sturgeonbaywi.org. The public is invited to attend the hearing and give testimony in favor or against the proposed variance either in person at the hearing or in writing.

By order of:

City of Sturgeon Bay Zoning Board of Appeals

Location Map -- Public Hearing Pfeifer Variance Request



Legend

 Subject Parcel

NOTE: Public hearing to be held in the City Council Chambers at 12:00 Noon on March 8, 2016

Prepared by Kernosky