

AGENDA
CITY OF STURGEON BAY
AESTHETIC DESIGN & SITE PLAN REVIEW BOARD
Monday, October 6, 2014
7:00 p.m.
Community Room, City Hall
421 Michigan Street, Sturgeon Bay, WI

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from September 15, 2014.
4. Consideration of: Proposed plans for YMCA public restrooms.
5. Adjourn.

NOTE: DEVIATION FROM THE AGENDA ORDER SHOWN MAY OCCUR.

Committee members

Jon Burk
Mark Lake
Jeff Serafico
Dennis Van Bramer
Josh Van Lieshout

10/01/14
10:00 a.m.
CN

AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

Monday, September 15, 2014

The Aesthetic Design & Site Plan Review Board meeting was called to order at 7:00 p.m. by Chairperson Mark Lake in Council Chambers, City Hall, 421 Michigan St.

Roll call: Members Mark Lake, Dennis Van Bramer, Jeff Serafico, Jon Burk, and Josh Van Lieshout were present. Also present were Ken Lynch, Marina View Apartments, Bob Bordeau, Community Development Director Marty Olejniczak, and Community Development Secretary Cheryl Nault.

Adoption of agenda: Moved by Mr. Van Bramer, seconded by Mr. Burk to adopt the following agenda:

1. Roll call.
2. Adoption of agenda.
3. Approval of minutes from June 23, 2014.
4. Elections of Chair and Vice-Chair.
5. Consideration of: Revised plans for Marina View Apartments for previously approved 8-unit multi-family dwelling, with detached garage buildings, located at 249 Thorn Street (Lot 6 of Marina View Subdivision).
6. Consideration of: 8-unit multi-family dwelling, with detached garage buildings, located at 238 Thorn Street (Lot 2 of Marina View Subdivision).
7. Consideration of: Proposed plans for Bordeau's Farm Market, 529 N. 8th Avenue.
8. Adjourn.

Carried.

Approval of minutes from June 23, 2014: Moved by Mr. Van Bramer, seconded by Mr. Serafico to approve the minutes from June 23, 2014. Carried.

Elections of Chair and Vice-Chair: Moved by Mr. Van Bramer, seconded by Mr. Van Lieshout to nominate Mark Lake as Chair. Hearing no other nominations, a vote was taken. All ayes. Carried.

Moved by Mr. Van Bramer to nominate Jon Burk as Vice-Chair. Mr. Burk declined nomination.

Moved by Mr. Burk, seconded by Mr. Lake to nominate Dennis Van Bramer as Vice-Chair. Hearing no other nominations, a vote was taken. All ayes. Carried.

Consideration of: Revised plans for Marina View Apartments for previously approved 8-unit multi-family dwelling, with detached garage buildings, located at 249 Thorn Street (Lot 6 of Marina View Subdivision): Ken Lynch, Marina View Apartments, stated that they would like to turn the building 90 degrees, with the apartments facing Thorn St. It would allow the garage buildings to be spread further apart, and being located behind the apartments would be less visible from Thorn St. The building would also fit better on the lot and would also prevent car lights from shining on the apartment building on Lot 4.

Mr. Olejniczak added that the 5' utility bumpout will also be relocated to the same area as the other apartment buildings. The building and garages comply with all zoning setbacks.

After discussion, it was moved by Mr. Van Lieshout, seconded by Mr. Van Bramer to approve the revised plans as presented. All ayes. Carried.

Consideration of: 8-unit multi-family dwelling for Marina View Apartments, with detached garage buildings, located at 238 Thorn Street (Lot 2 of Marina View Subdivision): Mr. Lynch stated that this apartment building matches the existing 8-unit buildings. There will not be stonework

applied to the building, since it is not facing the waterfront.

Mr. Olejniczak stated that an evergreen hedge will separate the property to the north. This building has been approved by Plan Commission. It meets all setback requirements. Materials are consistent with the other buildings, as well as floor layout.

After a short discussion, it was moved by Mr. Van Lieshout, seconded by Mr. Van Bramer to issue a certificate of appropriateness for the 8-unit multi-family dwelling on Lot #2 as presented, subject to a detention basin be constructed. All ayes. Carried.

Consideration of: Proposed plans for Bordeau's Farm Market, 529 N. 8th Avenue: Mr. Bordeau presented his plans for a 24' x 50' farm market building, with a metal roof and vinyl siding. It would be built in the same area where the current 10' x 40' tent is located. The building would be 14' closer to the street than the tent. The color of the building is undetermined at this time, but he is thinking of possibly red and white, with a white roof.

Board members questioned why it couldn't be placed closer to the street to make it more inviting. Mr. Bordeau responded the property has a hill to the rear and that would not allow parking behind the building.

Mr. Bordeau stated he wants to keep his parking lot as gravel. Mr. Olejniczak mentioned that the ordinance requires blacktop within one year of occupancy. If Mr. Bordeau needed a little more time and had a schedule, it would be within staff's authority to grant an extension on a one-year time period. If he wanted to waive it entirely or maybe pave it in five years or so, it would have to go before the Zoning Board of Appeals, since it is an actual ordinance requirement. The code may possibly be looked at by the Plan Commission in the future. Since it is a small building, only a few parking stalls are required.

Mr. Bordeau added that his business is not open in the winter months, except for selling Christmas trees. Temporary lighting is used at that time. There is no other lighting plan proposed, since the market closes at 5:00 p.m. daily. Also, there are no proposed landscaping plans. Any available space is used for display.

Mr. Van Lieshout stated the building is a great addition to the neighborhood, but would like to see more details on the parking lot. He doesn't think gravel is a good fit. He would also like to see details on signage, with possibly a more "urban" look, and colors of the building.

Discussion continued. Moved by Mr. Van Bramer, seconded by Mr. Serafico to issue a Certificate of Appropriateness as presented, subject to the color scheme be approved by the Chair. All ayes. Carried.

Adjourn: Moved by Mr. Serafico, seconded by Mr. Burk to adjourn. All ayes. Carried. Meeting adjourned at 7:45 p.m.

Respectfully submitted,


Cheryl Nault
Community Development Secretary

CITY OF STURGEON BAY

AESTHETIC DESIGN & SITE PLAN REVIEW BOARD

APPLICATION FOR *CERTIFICATE OF APPROPRIATENESS*

Name: Y M C A

Owner of Premises: Y M C A

Address or Legal Description of Premises:

1900 michigan st.

Statement of Specific Item Requested for Approval:

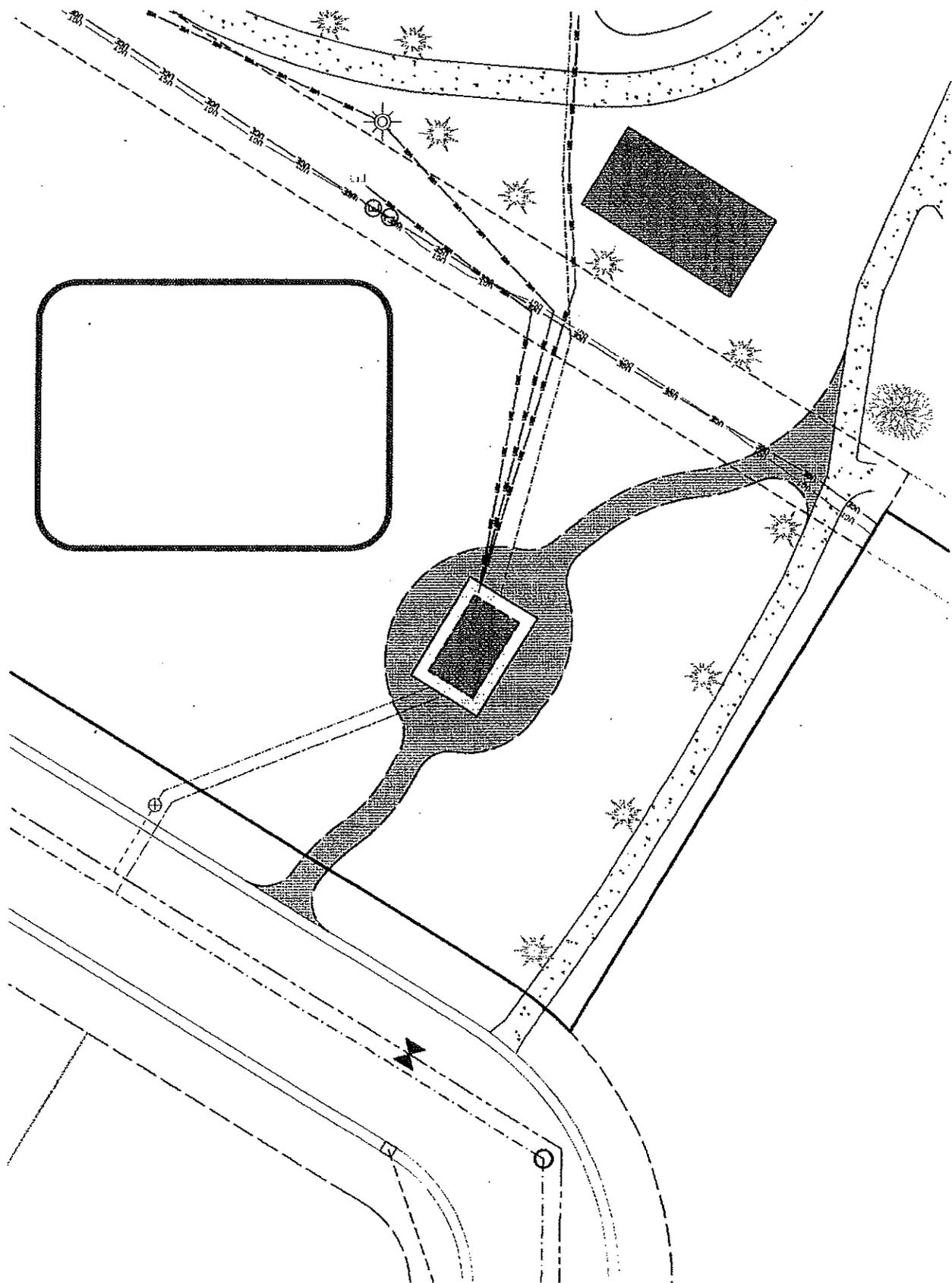
Bathroom facility as per attached plans

I WILL BRING SAMPLES TO YOUR OFFICE

9-30-14
Date

[Signature]
Applicant

Date Received:	<u>9-30-14</u>
Staff Signature:	_____
Date Approved/Denied:	_____





MiTek USA, Inc.

14515 North Outer Forty Drive
Suite 300
Chesterfield, MO 63017-5746
314-434-1200

Re: B1405102
Vans/YMCA

The truss drawing(s) referenced below have been prepared by MiTek USA, Inc. under my direct supervision based on the parameters provided by Richco Structures.

Pages or sheets covered by this seal: I22964442 thru I22964443

My license renewal date for the state of Wisconsin is July 31, 2016.

Wisconsin COA: 726-011

Lumber design values are in accordance with ANSI/TPI 1 section 6.3
These truss designs rely on lumber values established by others.



September 24, 2014

Garcia, Juan

The seal on these drawings indicate acceptance of professional engineering responsibility solely for the truss components shown. The suitability and use of this component for any particular building is the responsibility of the building designer, per ANSI/TPI 1.

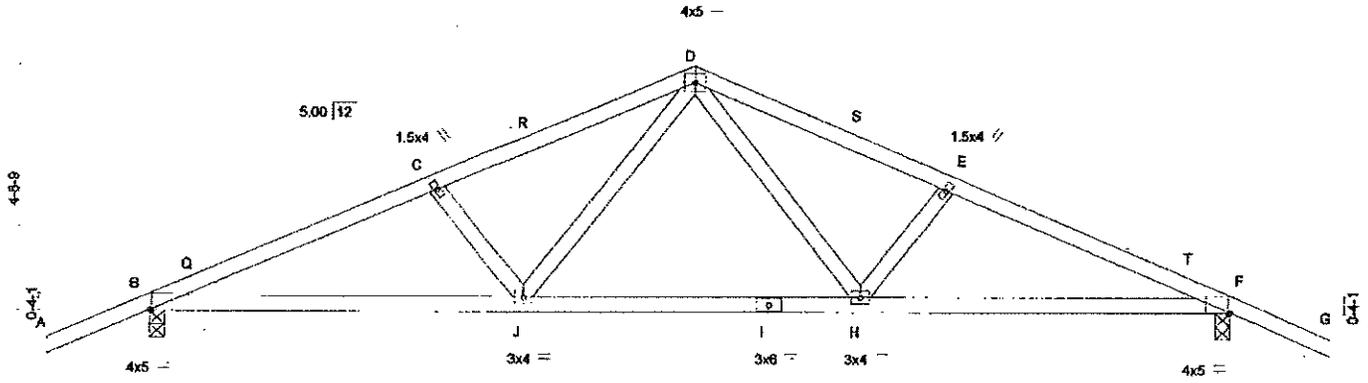
Job	Truss	Truss Type	Qty	Ply	Vans/YMCA	122864442
B1405102	T1	FINK	14	1		

Richco Structures, Haven, WI 53083

7.430 s Jul 25 2013 MTEK Industries, Inc. Wed Sep 24 15:58:39 2014 Page 1
 ID: b3eE7aBF4LQKVU67YiApyyDFU-wDNap2_KcZRCyVQ7cXEIp99DHIGV71p9HiY8/byaNB



Scale = 1:41.1



Plates Offsets (X,Y):	[B:0-0-6,Edge], [F:0-0-6,Edge]
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LOADING (psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl L/d	PLATES	GRIP
TCLL 38.5	Plates Increase 1.15	TC 0.66	Vert(LL) -0.13 H-J >999 240	MT20	197/144
TCDL 7.0	Lumber Increase 1.15	BC 0.57	Vert(TL) -0.24 H-J >999 180		
BCLL 0.0	Rep Stress Incr YES	WB 0.30	Horz(TL) 0.06 F n/a n/a		
BCDL 10.0	Code IBC2009/TPI2007	(Matrix-M)		Weight: 73 lb	FT = 20%

LUMBER

TOP CHORD 2x4 SPF No.1 or 2x4 SPF No.2
 BOT CHORD 2x4 SPF No.1 or 2x4 SPF No.2
 WEBS 2x4 SPF Stud

BRACING

TOP CHORD Structural wood sheathing directly applied or 3-4-5 oc purins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

MITek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer installation guide.

REACTIONS (lb/size) B=1347/0-3-8 (min. 0-2-2), F=1348/0-3-8 (min. 0-2-2)
 Max Horz B=-76(LC 10)
 Max Uplift B=212(LC 12), F=-212(LC 12)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD B-C=-2174/377, C-D=-1898/299, D-E=-1898/299, E-F=-2174/377
 BOT CHORD B-J=-453/1929, H-J=-93/1310, F-H=-453/1929
 WEBS C-J=-549/183, D-J=-63/704, D-H=-63/704, E-H=-549/183

NOTES (10)

- 1) Unbalanced roof live loads have been considered for this design.
- 2) Wind: ASCE 7-05; 90mph; TCDL=4.2psf; BCDL=6.0psf; h=25ft; B=45ft; L=24ft; eave=4ft; Cat. II; Exp C; enclosed; MWFRS (all heights) and C-C Exterior(2) -2-0-0 to 1-0-0, Interior(1) 1-0-0 to 10-6-0, Exterior(2) 10-6-0 to 13-6-0 zone; cantilever left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 3) TCLL: ASCE 7-05; Pr=38.5 psf (roof live load); Lumber DOL=1.15 Plate DOL=1.15; Pg=50.0 psf (ground snow); Ps=38.5 psf (roof snow); Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp C; Partially Exp.; Ct=1.1
- 4) Roof design snow load has been reduced to account for slope.
- 5) Unbalanced snow loads have been considered for this design.
- 6) This truss has been designed for greater of min roof live load of 12.0 psf or 2.00 times flat roof load of 38.5 psf on overhangs non-concurrent with other live loads.
- 7) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 8) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) B=212, F=212.
- 9) "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.
- 10) If Southern Pine (SP) is specified, the design values are those effective 8/1/2013 by ALSC.

LOAD CASE(S) Standard



September 24, 2014

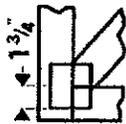
WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MTL-1413 (REV. 1/23/2014) BEFORE USE
 Design valid for use only with Mittek connectors. This design is based only upon parameters shown, and is for an individual building component. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult ANSI/TPI Quality Criteria, D58-87 and BCN Welding Component Safety Information available from Truss Plate Institute, 761 N. Lee Street, Suite 312, Alexandria, VA, 22314.
 If Southern Pine (SP) lumber is specified, the design values are those effective 06/01/2013 by ALSC



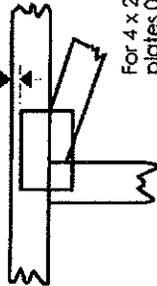
Symbols

PLATE LOCATION AND ORIENTATION

Center plate on joint unless x, y offsets are indicated. Dimensions are in 1/16-in. increments. Apply plates to both sides of truss and fully embed teeth.



0-1/16"



For 4 x 2 orientation, locate plates 0-1/16" from outside edge of truss.

This symbol indicates the required direction of slots in connector plates.



* Plate location details available in MITek 20/20 software or upon request.

PLATE SIZE

4 X 4

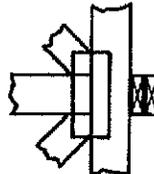
The first dimension is the plate width measured perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING LOCATION



Indicated by symbol shown and/or by text in the bracing section of the output. Use T or I bracing if indicated.

BEARING



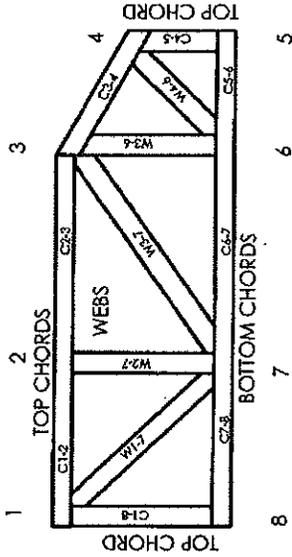
Indicates location where bearings (supports) occur. Icons vary but reaction section indicates joint number where bearings occur. Min size shown is for crushing only.

Industry Standards:

- ANSI/TPI 1: National Design Specification for Metal Plate Connected Wood Truss Construction.
- DS8-89: Design Standard for Bracing.
- BCSI: Building Component Safety Information, Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses.

Numbering System

6-4-8 dimensions shown in 1/16-in. increments (Drawings not to scale)



JOINTS ARE GENERALLY NUMBERED/LETTERED CLOCKWISE AROUND THE TRUSS STARTING AT THE JOINT FARTHEST TO THE LEFT.

CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

PRODUCT CODE APPROVALS

ICC-ES Reports:

ESR-1311, ESR-1352, ESR1988
ER-3907, ESR-2362, ESR-1397, ESR-3282

Southern Pine lumber designations are as follows:

SP represents values as published by AWC in the 2005/2012 NDS
SP represents ALSC approved/new values with effective date of June 1, 2013

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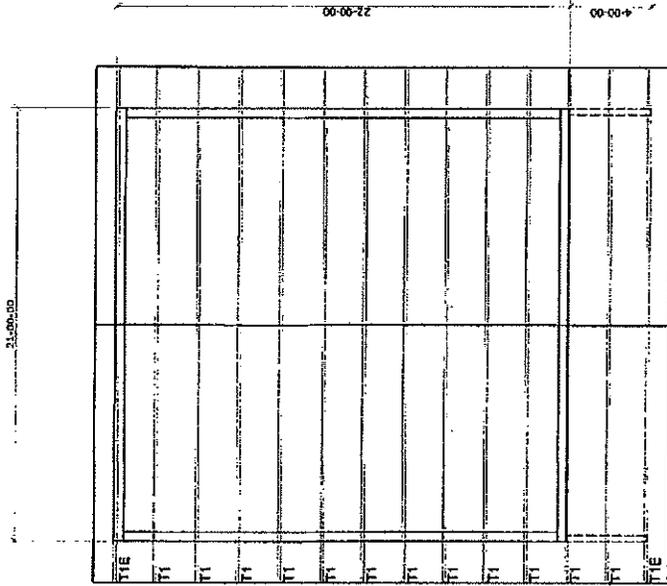


MITek Engineering Reference Sheet: MIT-7473 rev. 01/29/2013

General Safety Notes

Failure to Follow Could Cause Property Damage or Personal Injury

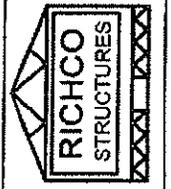
1. Additional stability bracing for truss system, e.g. diagonal or X-bracing, is always required. See BCSI.
2. Truss bracing must be designed by an engineer. For wide truss spacing, individual lateral braces themselves may require bracing, or alternative Tor 1 bracing should be considered.
3. Never exceed the design loading shown and never stack materials on inadequately braced trusses.
4. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
5. Cut members to bear tightly against each other.
6. Place plates on each face of truss at each joint and embed fully. Knots and wane at joint locations are regulated by ANSI/TPI 1.
7. Design assumes trusses will be suitably protected from the environment in accord with ANSI/TPI 1.
8. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
9. Unless expressly noted, this design is not applicable for use with fire retardant, preservative treated, or green lumber.
10. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
11. Plate type, size, orientation and location dimensions indicated are minimum plating requirements.
12. Lumber used shall be of the species and size, and in all respects, equal to or better than that specified.
13. Top chords must be sheathed or purlins provided at spacing indicated on design.
14. Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted.
15. Connections not shown are the responsibility of others.
16. Do not cut or alter truss member or plate without prior approval of an engineer.
17. Install and load vertically unless indicated otherwise.
18. Use of green or treated lumber may pose unacceptable environmental, health or performance risks. Consult with project engineer before use.
19. Review all portions of this design (front, back, words and pictures) before use. Reviewing pictures alone is not sufficient.
20. Design assumes manufacture in accordance with ANSI/TPI 1 Quality Criteria.



GENERAL NOTES:-ALL DIMENSIONS ARE C

ROOF TRUSSES FLOOR TRUSSES
 WALL PANELS ENGINEERED WOOD

1688 Hwy FF . Haven, Wisconsin 53083
 1-800-945-8910 (P20) 565-3986
 FAX (920) 565-3106



SHEET TITLE:
ROOF TRUSS LAYOUT

JOB NAME:
YMCA PUBLIC RESTROOM

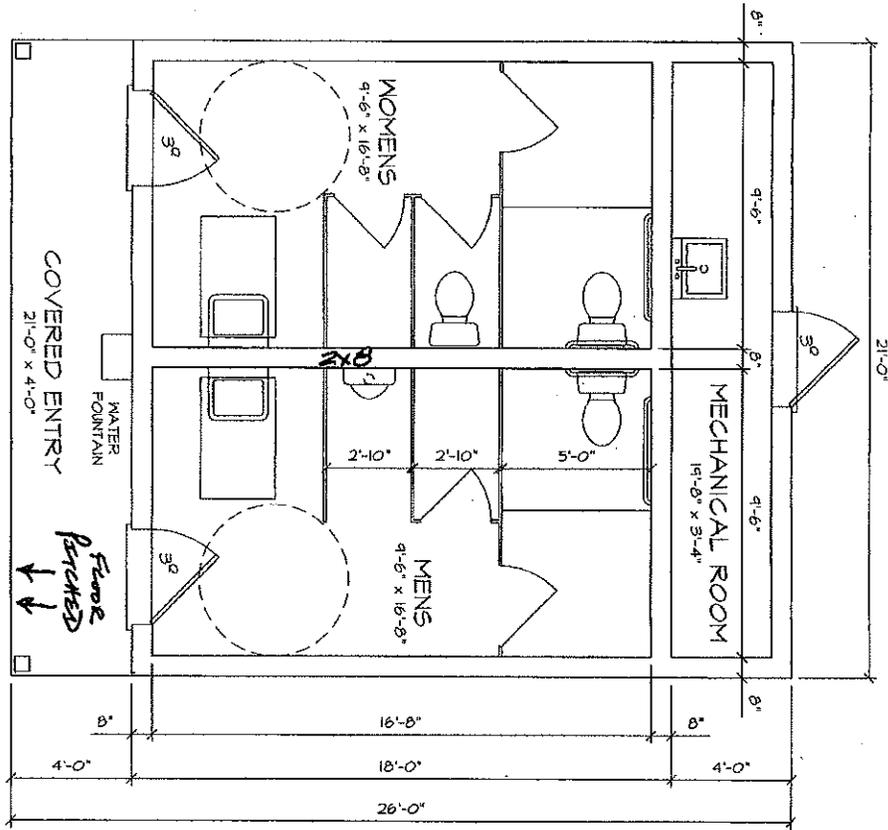
CUSTOMER:
VANS LUMBER

LOADING: LIVE/DEAD
 TOP CHORD XX - X
 BOT CHORD 00 - 10
 @ 1.15% DUR
 W/C CODE

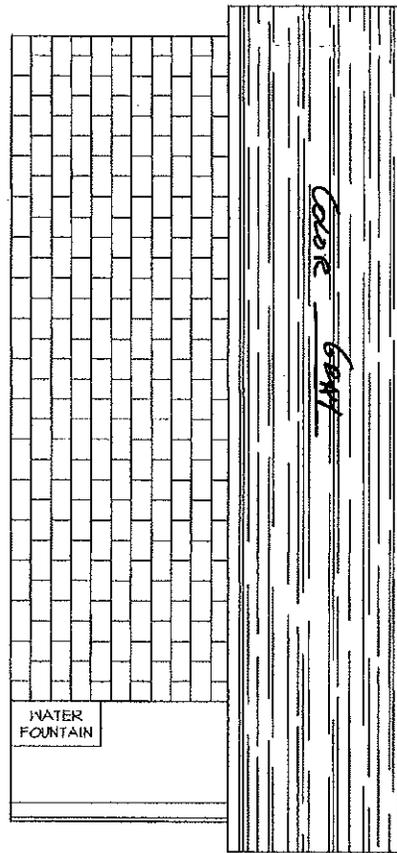
DRAWN BY: EG K
 REV:

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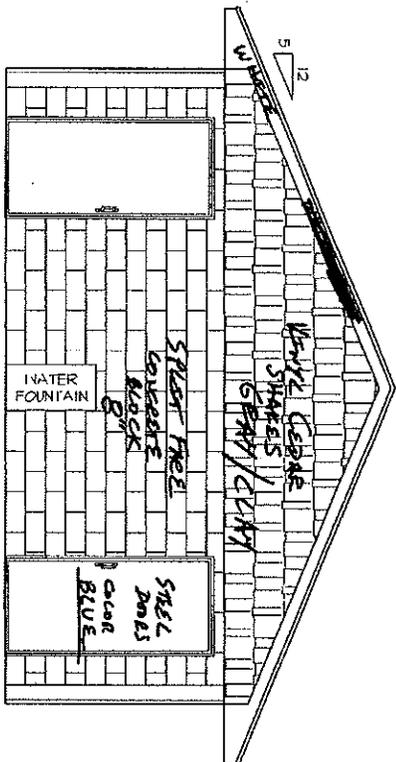
DATE: 9-25-14
 SCALE 1/4"=1'-0"
 ORDER NO: 1405102



FLOOR PLAN
SCALE: 1/4" = 1'-0"



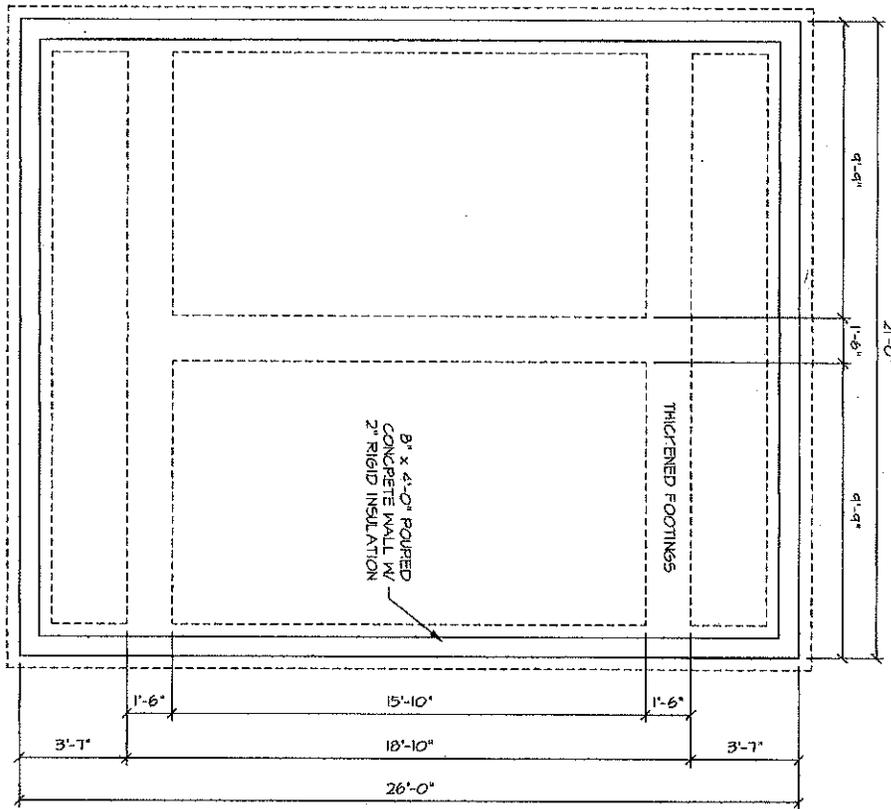
REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

1 OF 1	YMCA PUBLIC RESTROOMS	VAN'S LUMBER & CUSTOM BUILDERS INC.	SCALE: 1/4" = 1'-0" DATE: 04/08/14	2000 SQ. FT.	SALESMAN: JEFF PEIERSON
	PRELIMINARY PLAN - NOT FOR CONSTRUCTION		ACCEPTED BY:	REVISED:	REVISED:
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS, NOTES, TIES, AND STRUCTURAL MEMBERS. ALL FOUNDATION HEIGHTS, CHANGES IN HEIGHTS, AND ALL "TOLERANCES" MUST ALSO BE CHECKED AND APPROVED BY THE CONTRACTOR.			REVISED: 04/23/14	REVISED:	REVISED:
			REVISED:	REVISED:	REVISED:
			REVISED:	REVISED:	REVISED:

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



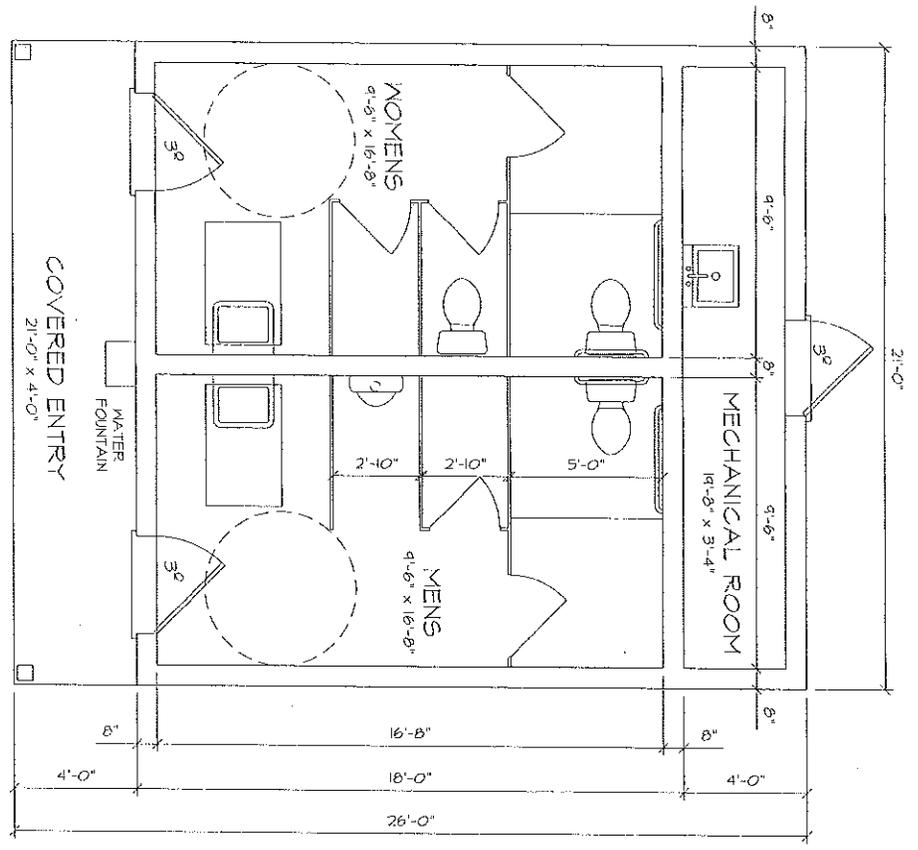
YMCA PUBLIC RESTROOMS

**VAN'S LUMBER &
CUSTOM BUILDERS INC.**

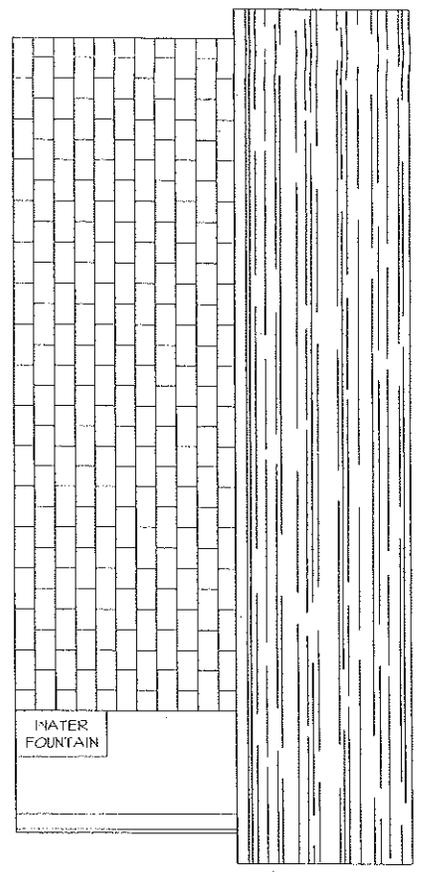
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

SCALE: 1/4" = 1'-0"	BOOK NO. 01	SALESMAN: JEFF PETERSON
DATE: 04/20/14		
ACCEPTED BY:		
DRAWN BY: KEN N	REV. NO.	REV. NO.
REVISED: 04/23/14	REV. NO.	REV. NO.
REVISED:	REV. NO.	REV. NO.
REVISED:	REV. NO.	REV. NO.

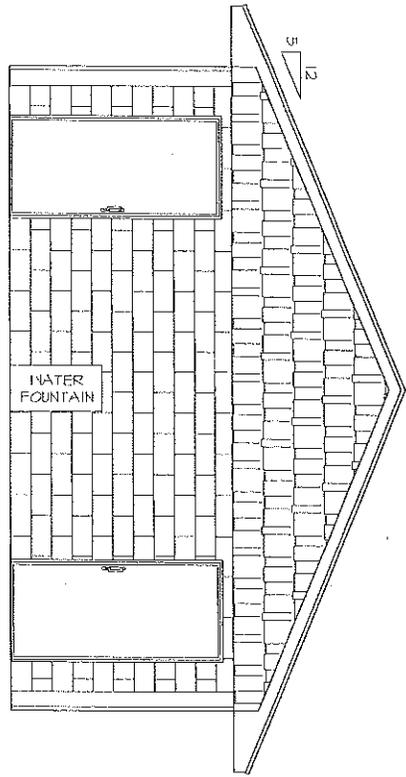
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS, NOTES, ETC., AND STRUCTURAL MEMBERS. ALL FOUNDATION MEMBERS, EXCEPT FOUNDATIONS AND TIE RODS, MUST ALSO BE VERIFIED AND APPROVED BY THE CONTRACTOR.



FLOOR PLAN
SCALE: 1/4" = 1'-0"

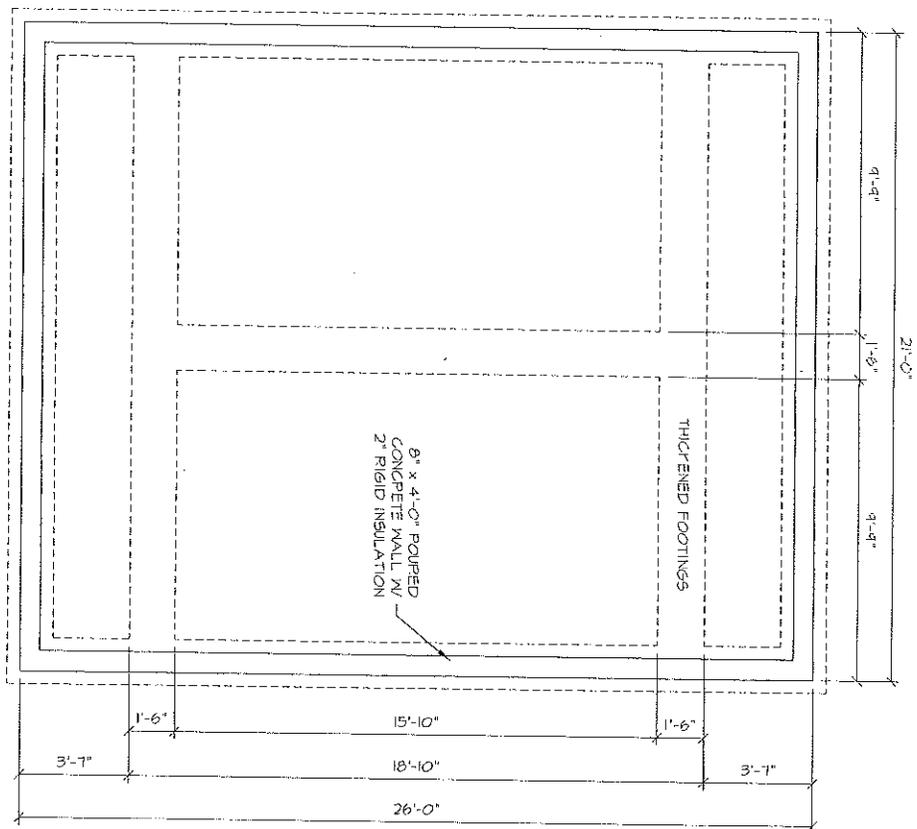


REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

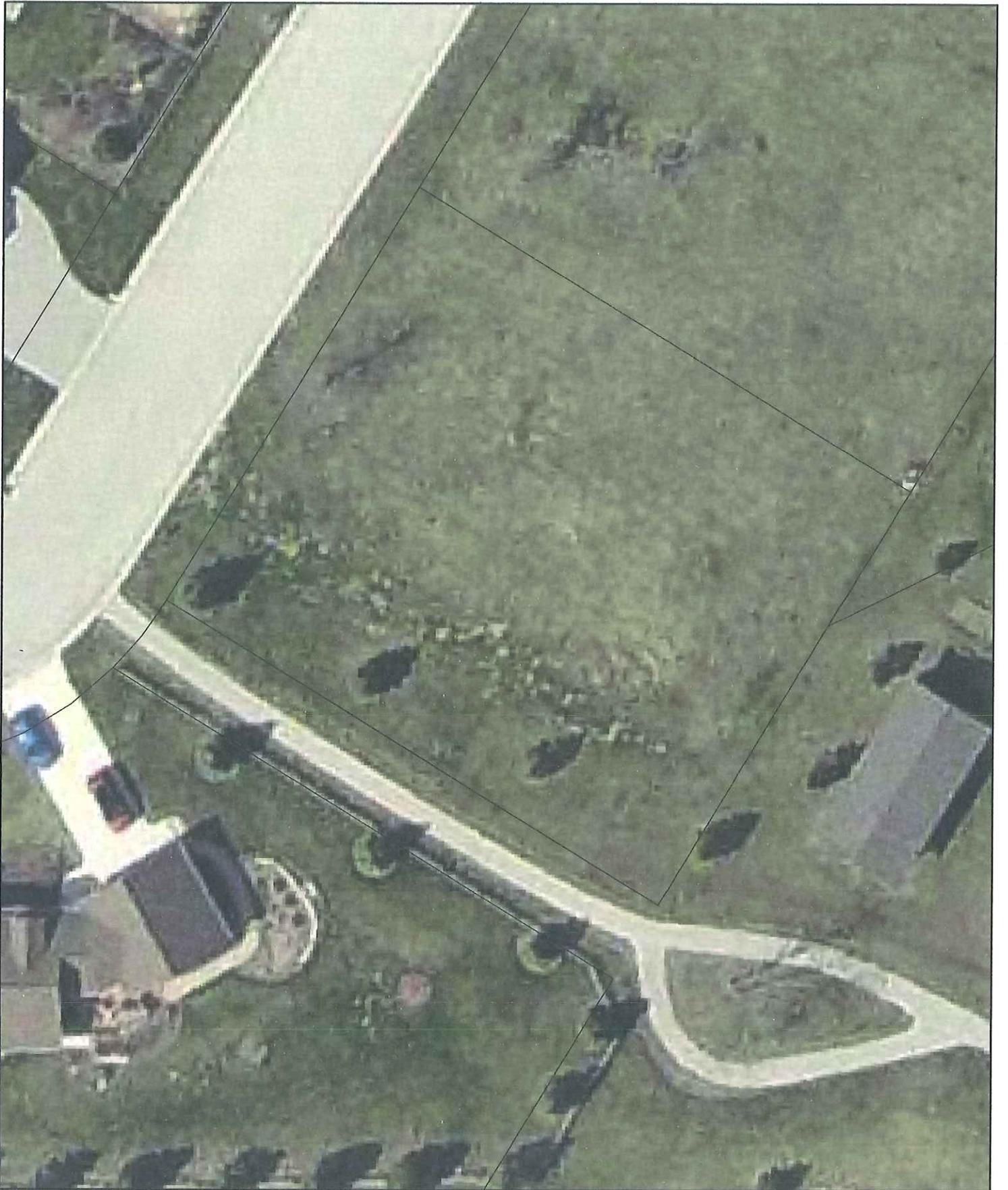
1 OF 2	YMCA PUBLIC RESTROOMS	VAN'S LUMBER & CUSTOM BUILDERS INC.	SCALE: 1/4" = 1'-0" DATE: 04/18/14 4444 SQ. FT.	SALESMAN: JEFF PETERSON
	<small>ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS, CODES, SIZES, AND MATERIALS. ALL PERMITS, FEES, CHARGES, AND TAXES, MUST BE OBTAINED AND APPROVED BY THE COMMISSION.</small>		ACCEPTED BY: DESIGNER: KEN H. REV. 10/20/13 REV. 10/20/13 REV. 10/20/13 REV. 10/20/13 REV. 10/20/13 REV. 10/20/13 REV. 10/20/13 REV. 10/20/13	PRELIMINARY PLAN - NOT FOR CONSTRUCTION



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

2 OF 2	YMCA PUBLIC RESTROOMS	VAN'S LUMBER & CUSTOM BUILDERS INC	SCALE: 1/4" = 1'-0"	DATE: 04/05/14	APP'D: G.P.	SALESMAN: EFF. PLYERSON
	ALTHOUGH BEST EFFORTS HAVE BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS, DIMENSIONS, NOTES, SPEC. AND DIMENSIONS, ETC. BEFORE CONSTRUCTION. ALL FOUNDATION FOOTINGS, CHIMNEYS, AND WALL THICKNESSES MUST HAVE BEEN CHECKED AND APPROVED BY THE CONTRACTOR.		ACCEPTED BY:			
			DESIGNED: K.E.W.	REVISED:	REVISED:	REVISED:
			REVISED: 02/23/14	REVISED:	REVISED:	REVISED:
			REVISED:	REVISED:	REVISED:	REVISED:
			REVISED:	REVISED:	REVISED:	REVISED:

PRELIMINARY PLAN - NOT FOR CONSTRUCTION



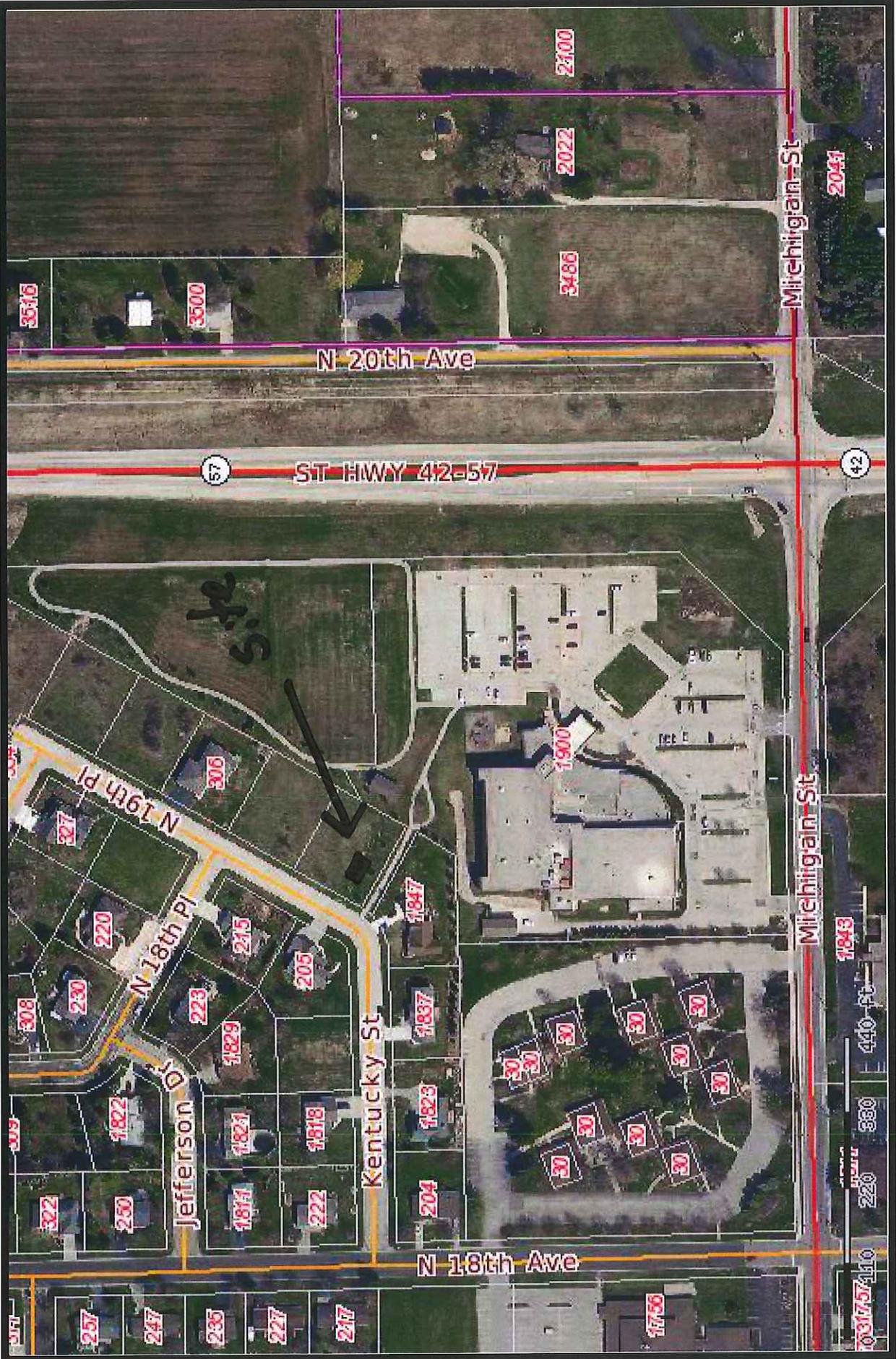
Map

Printed 09/22/2014 courtesy of Door County Land Information Office

... from the Web Map of ...
(/www.co.door.wi.gov)



Door County, Wisconsin
... for all seasons!



Door County can not and does not make any representation regarding the accuracy or completeness, nor the error-free nature, of information depicted on this map. This information is provided to users "as is". The user of this information assumes any and all risks associated with this information. Door County makes no warranty or representation, either express or implied, as to the accuracy, completeness, or fitness for a particular purpose of this information. The Web Map is only a compilation of information and is NOT to be considered a legally recorded map or a legal land survey to be relied upon.